

PROJECT NOTES:
OWNER:

MRN HOMES LLC
1556 12TH AVE NE
SEATTLE, WA 98115
PHONE: 206-985-0212

PROJECT NAME:
PROJECT ADDRESS:
PARCEL #:
ZONING:
OCCUPANCY:
PARKING:
CONSTRUCTION:
LOT AREA:
MAX. FAR:
PROPOSED FLOOR AREA:
EXISTING:
PROPOSED NEW:
TOTAL:
MAX. DENSITY:
PROPOSED UNITS:
MAX. FACADE LENGTH:
EXISTING:
PROPOSED NEW:
TOTAL:
REQUIRED VEHICULAR PARKING:
PROPOSED VEHICULAR PARKING:
REQUIRED BIKE PARKING:
PROPOSED BIKE PARKING:
REQUIRED AMENITY AREA:
PROPOSED AMENITY AREA:
UNIT AREA: UNITS A-1 & A-5 (PER UNIT)

LEVEL	GARAGE	LIVING	DECK
FIRST	----	356.5	----
SECOND	----	412.75	----
THIRD	----	398.75	----
ROOF	----	----	321.875
TOTAL	----	1168.0	321.875

UNIT AREA: UNIT A-2

LEVEL	GARAGE	LIVING	DECK
FIRST	----	337.75	----
SECOND	----	412.75	----
THIRD	----	398.75	----
ROOF	----	----	321.875
TOTAL	----	1149.25	321.875

UNIT AREA: UNITS A-3 & A-4 (PER UNIT)

LEVEL	GARAGE	LIVING	DECK
FIRST	----	314.5	----
SECOND	----	412.75	----
THIRD	----	398.75	----
ROOF	----	----	321.875
TOTAL	----	1126.0	321.875

REQUIRES GREEN BUILDING PERFORMANCE PER SMC 23.45.510.C

PROJECT ARCHITECT: NOVIION GROUP INC 206.361.6133
STRUCTURAL ENGINEER: SES 425.178.1023

SEPARATE PERMIT REQUIRED FOR ELECTRICAL, MECHANICAL, PLUMBING, AND CIVIL

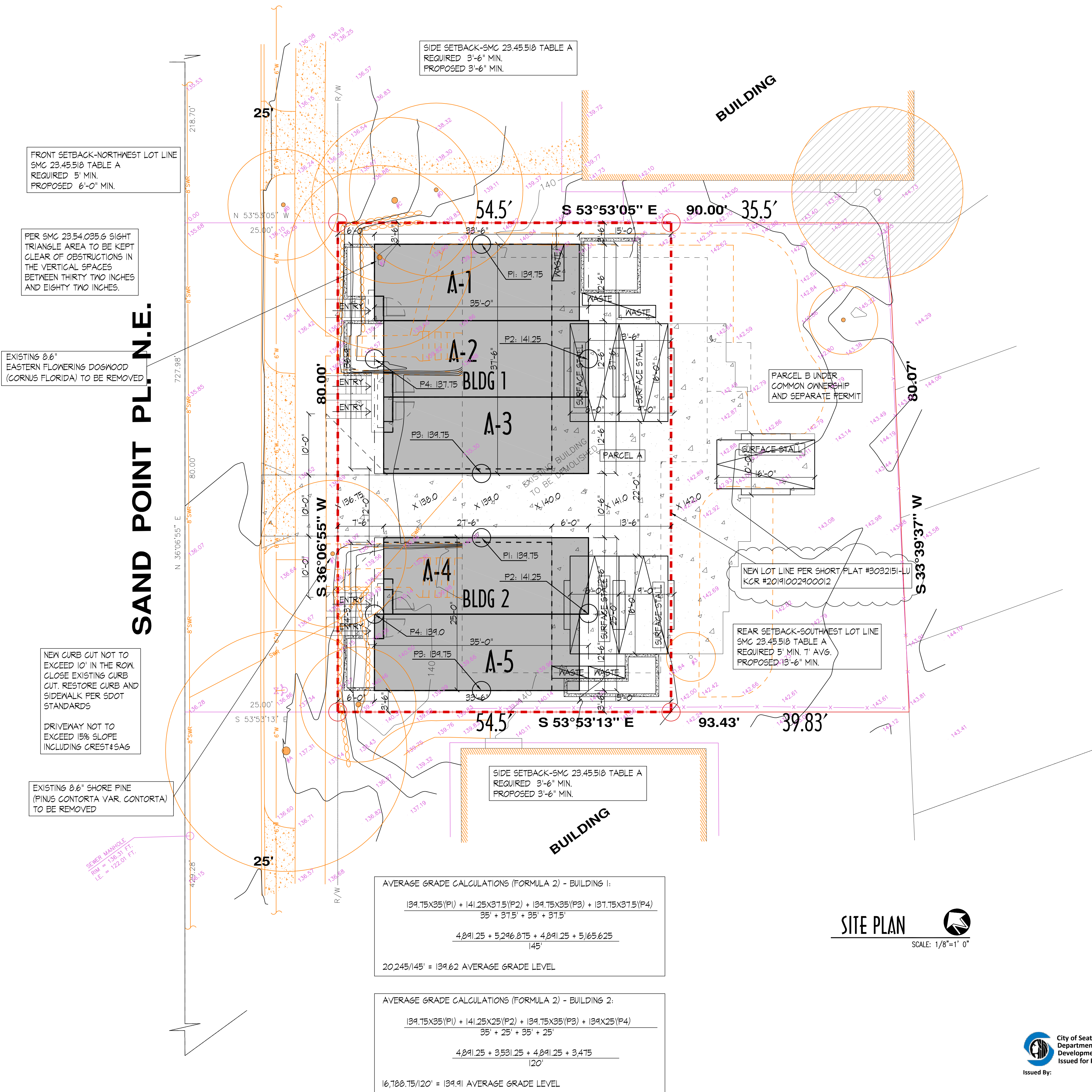
PARCEL DESCRIPTION:

PARCEL A OF SP #3032151-LU
(KCR#20191002900012)

ROOF DRAINAGE SHALL NOT BE PERMITTED TO FLOW OVER PUBLIC PROPERTY. ROOF DRAINAGE SHALL BE TIGHTLINED INDEPENDENTLY TO APPROVED DISCHARGE. SEPARATE PERMIT REQUIRED. CONTACT SDOT.

SBC 1804.4 SITE GRADING:
PROVIDE GRADING TO DIVERT SURFACE WATER AWAY FROM FOUNDATION WALLS FOR ALL BUILDING SIDES AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2% SLOPE) WHEN LESS THAN 10' FROM A PROPERTY LINE.

* REQUIRES GREEN BUILDING - BUILT GREEN COMMITMENT:
THE PROPOSAL IS SEEKING TO GAIN HIGHER FAR AND PARKING LOCATION THROUGH THE USE OF THE PROVISION UNDER SMC 23.45.510. THE OWNER/CONTRACTOR MAKES A COMMITMENT THAT THE STRUCTURE WILL MEET GREEN BUILDING PERFORMANCE STANDARDS BY EARNING A BUILT GREEN 4-STAR RATING OF THE MASTER BUILDERS ASSOCIATION OF KING AND SNOHOMISH COUNTIES, EXCEPT THAT AN APPLICANT WHO IS APPLYING FOR FUNDING FROM THE WASHINGTON STATE HOUSING TRUST FUND AND/OR THE SEATTLE OFFICE OF HOUSING TO DEVELOP NEW AFFORDABLE HOUSING, AS DEFINED IN SUBSECTION 23.45.526.D, MAY ELECT TO MEET GREEN BUILDING PERFORMANCE STANDARDS BY MEETING THE WASHINGTON EVERGREEN SUSTAINABLE DEVELOPMENT STANDARDS (ESDS). THE APPLICANT SHALL DEMONSTRATE TO THE DIRECTOR THE EXTENT TO WHICH THE APPLICANT HAS COMPLIED WITH THE COMMITMENT TO MEET THE GREEN BUILDING PERFORMANCE STANDARDS NO LATER THAN 90 DAYS AFTER ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY FOR THE NEW STRUCTURE, OR SUCH LATER DATE AS MAY BE ALLOWED BY THE DIRECTOR FOR GOOD CAUSE. PERFORMANCE IS DEMONSTRATED THROUGH AN INDEPENDENT REPORT FROM A THIRD PARTY, PURSUANT TO SECTION 23.90.018.D.



REVISION
MUP CORR-1

DATE
10/2019

4997
REGISTERED ARCHITECT
RODRIGO E. NOVION
STATE OF WASHINGTON

NOVIION GROUP INC. ARCHITECTURE

8634B 3RD AVE NW
SEATTLE WASH 98117
PH(206)361.6133 FAX 361.6345

PROJECT ADDRESS
5038 SAND POINT PL. NE
SEATTLE, WA

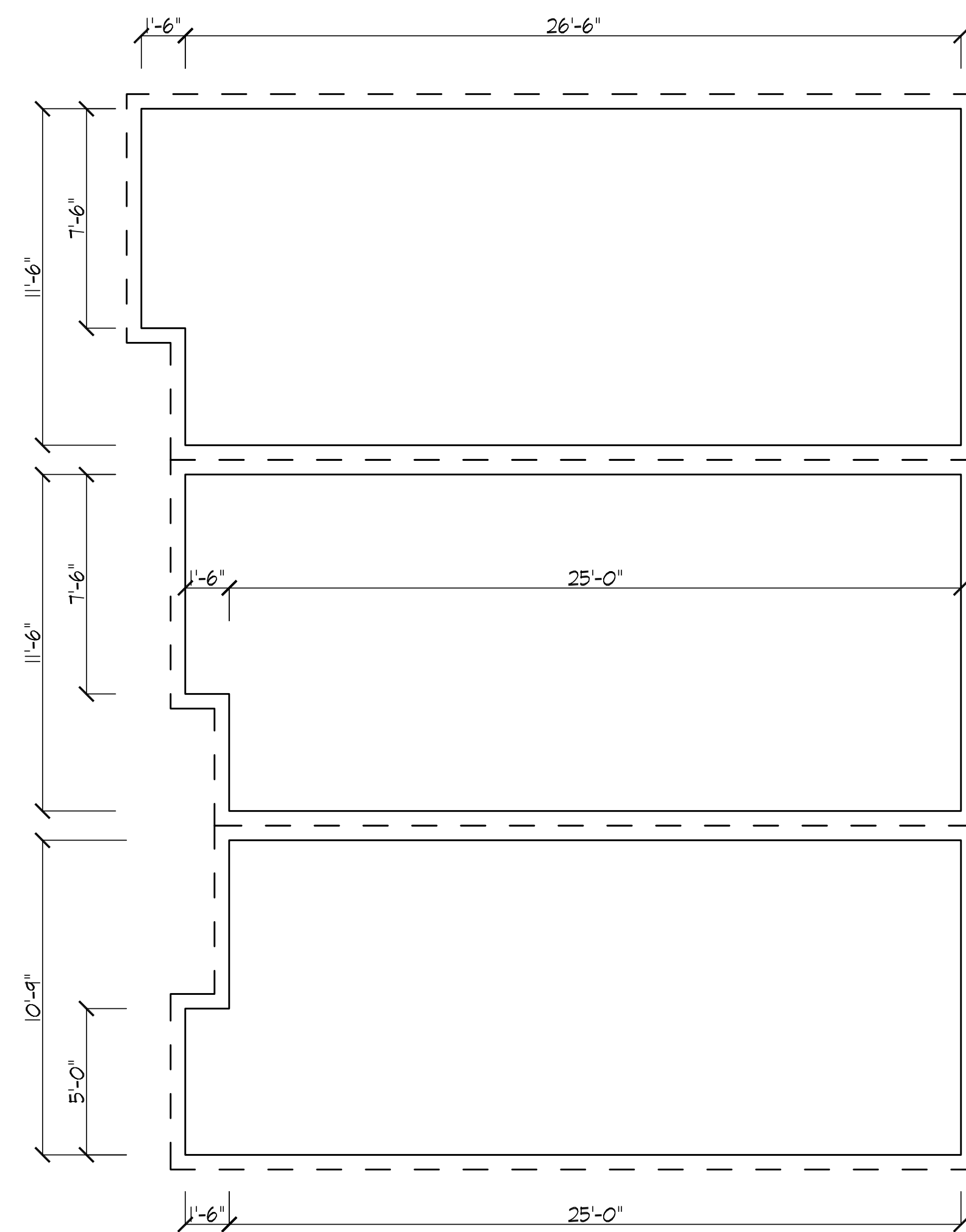
OWNER/CLIENT
MRN HOMES LLC
1556 12TH AVE NE
SEATTLE, WA 98115
PH: 206-985-0212

APPROVAL STAMP
Date 12/2018
Scale 1/8"=1' 0"
Drawn Rn Sn
SDCI # 3032303-LU & 6686871-CN
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City of Seattle
Department of Planning
Development
Issued for Permit

Issued By: 02/11/2020

A-1.0



FIRST FLOOR PLAN 

BUILDING 1 1/4" = 1'-0"

BUILDING

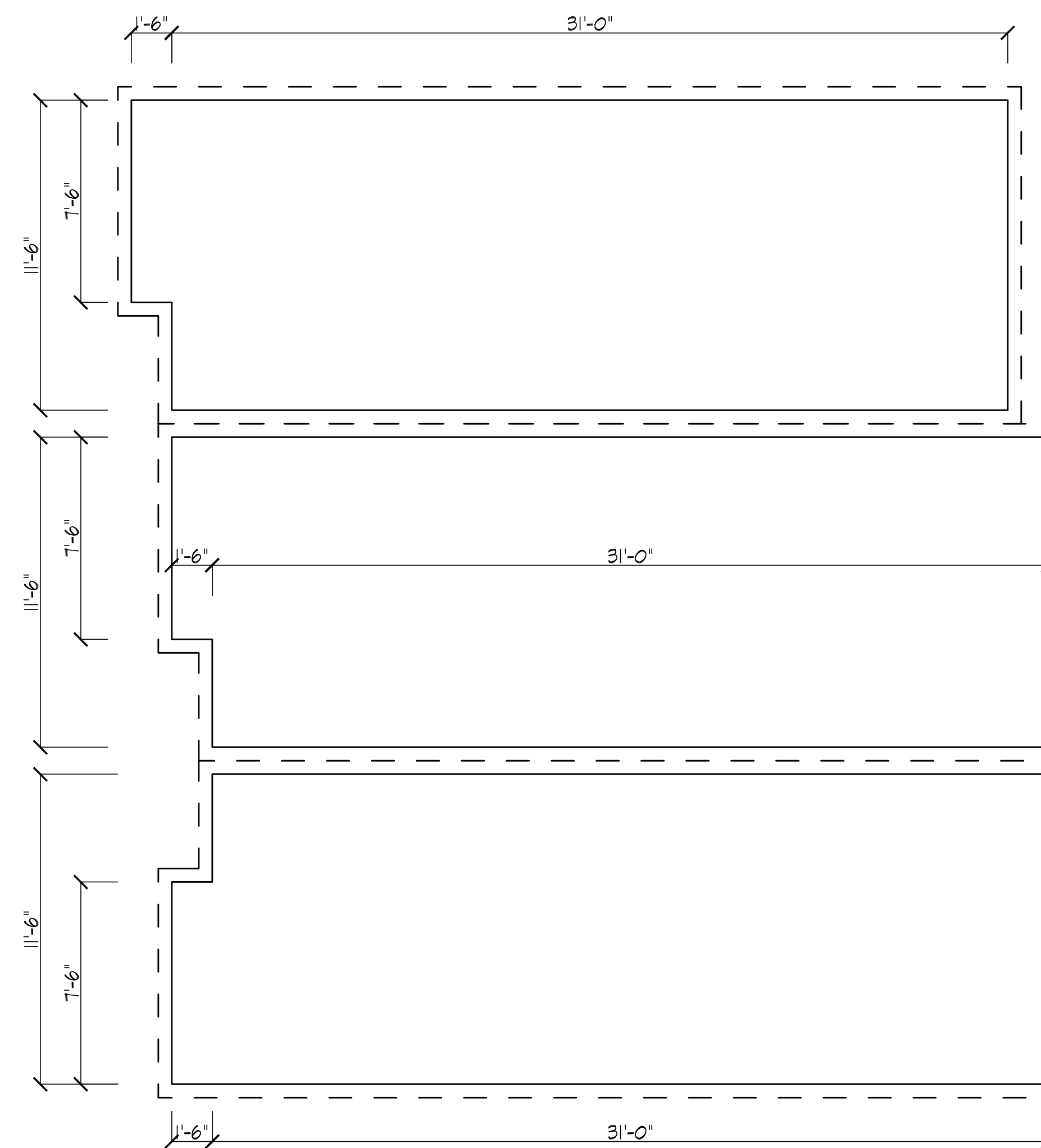
$$1/4'' = 1' - 0''$$

FLOOR AREA RATIO CALCULATION:
ALLOWED FAR: $4,360 \times 1.2 = 5,232.0$

FIRST FLOOR (BOTH BUILDINGS):
1,483.25 SF
SECOND FLOOR (BOTH BUILDINGS):
1,838.75 SF
THIRD FLOOR (BOTH BUILDINGS):
1,769.0 SF

TOTAL FLOOR AREA = 5,091.0 SF

FAR CALCULATION: $5,091/5,232 = .97$

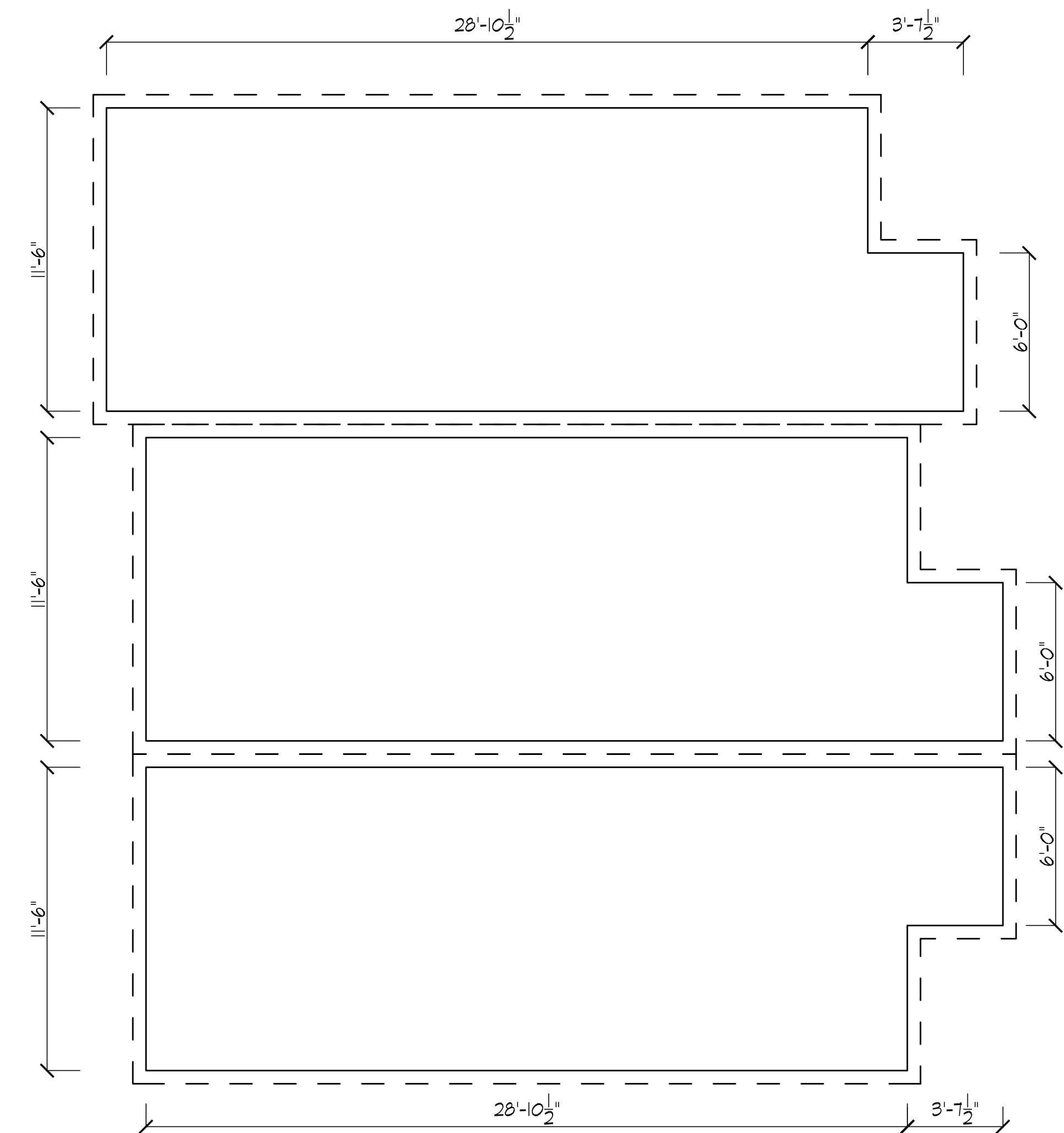


SECOND FLOOR PLAN

BUILDING 1

1/4"=1'-0"

BUILDING

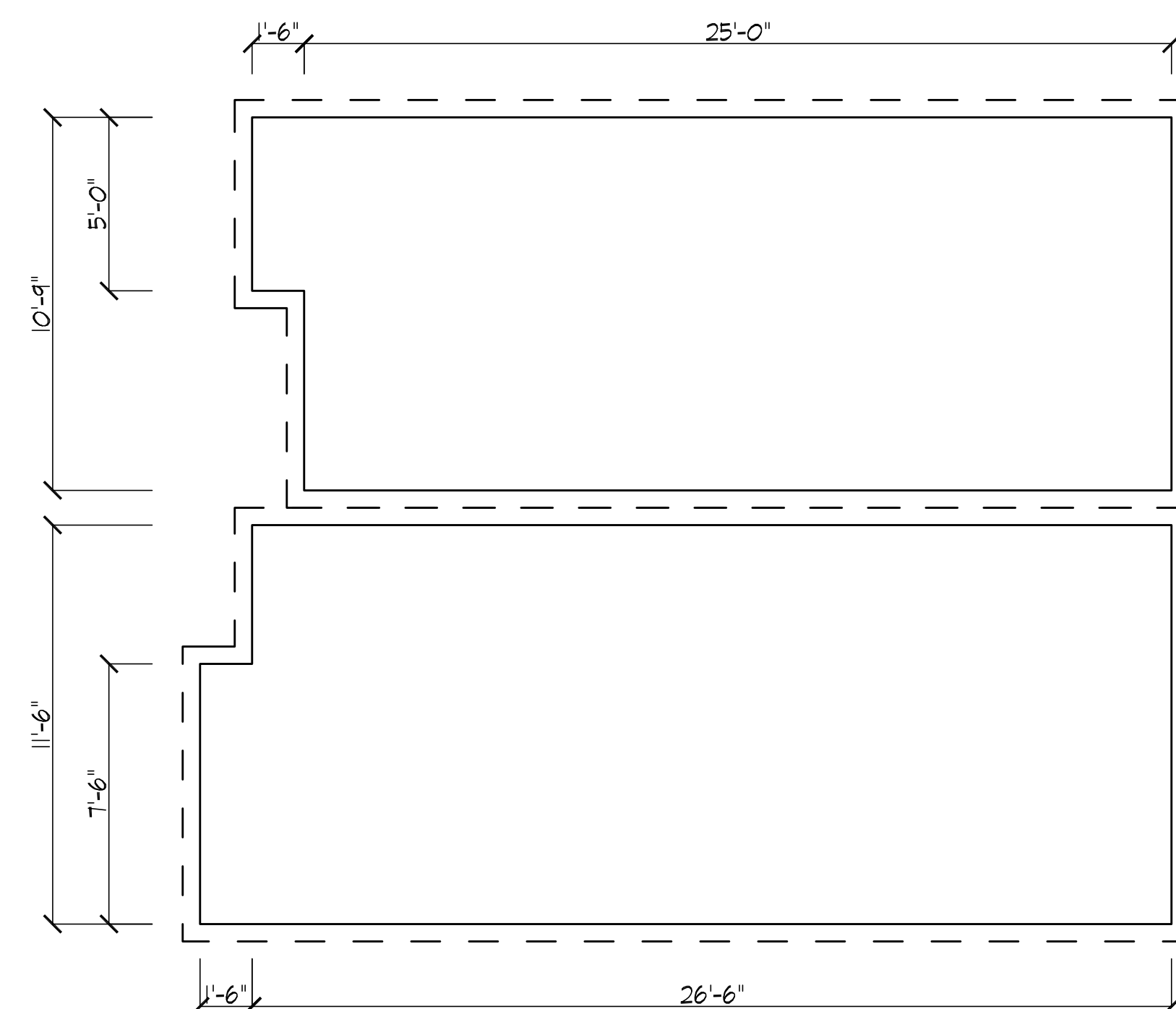
$$1/4'' = 1' - 0''$$


THIRD FLOOR PLAN 
BUILDING 1 1/4"=1'-0"

BUILDING I

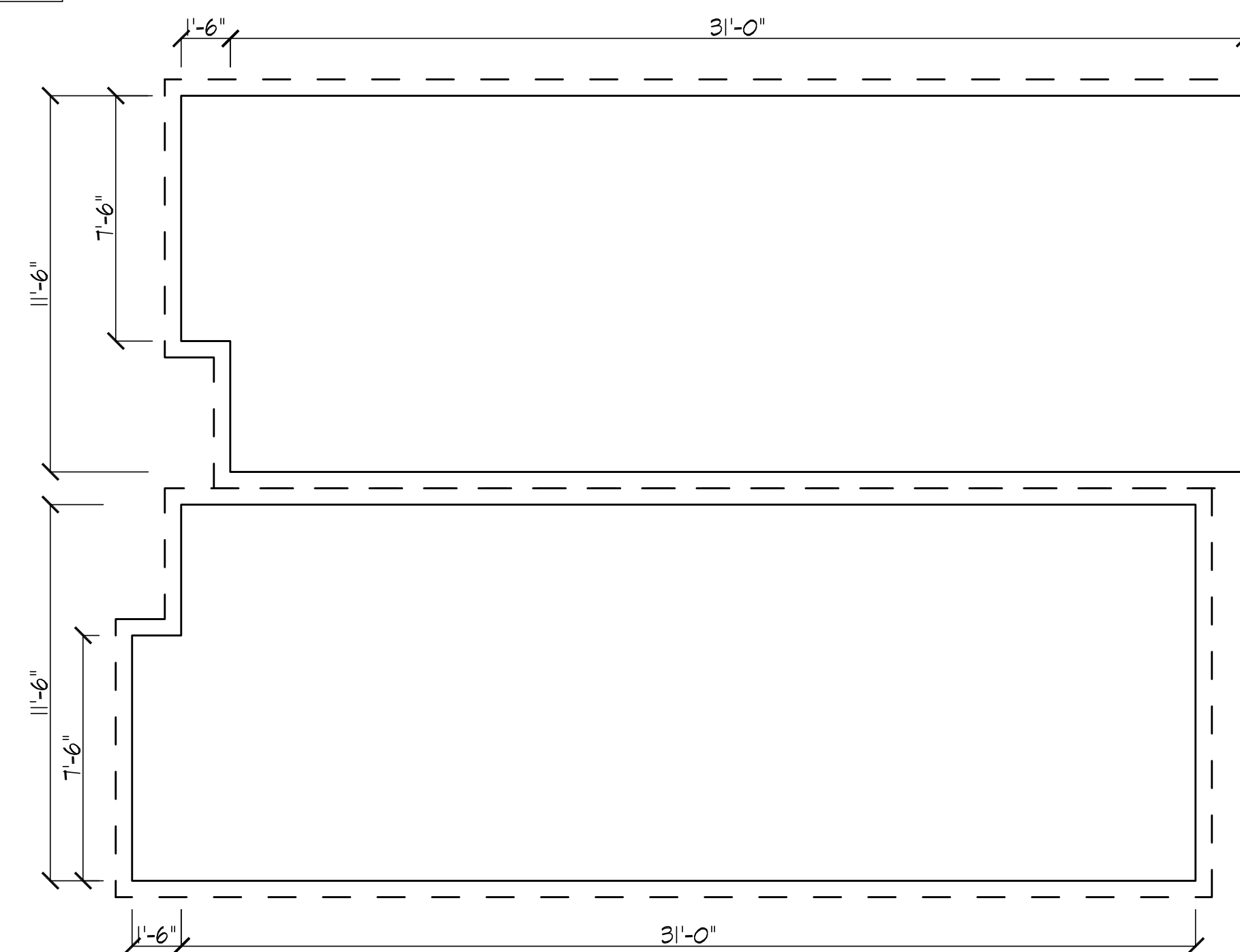
$$1/4'' = 1' - 0''$$

THE GROSS FLOOR AREA DIMENSIONS PROVIDED
ARE MEASURED FROM THE INTERIOR FACE OF THE
STUDS FOR THE EXTERIOR WALLS



FIRST FLOOR PLAN 
BUILDING | 1/4" = 1'-0"

BUILDING

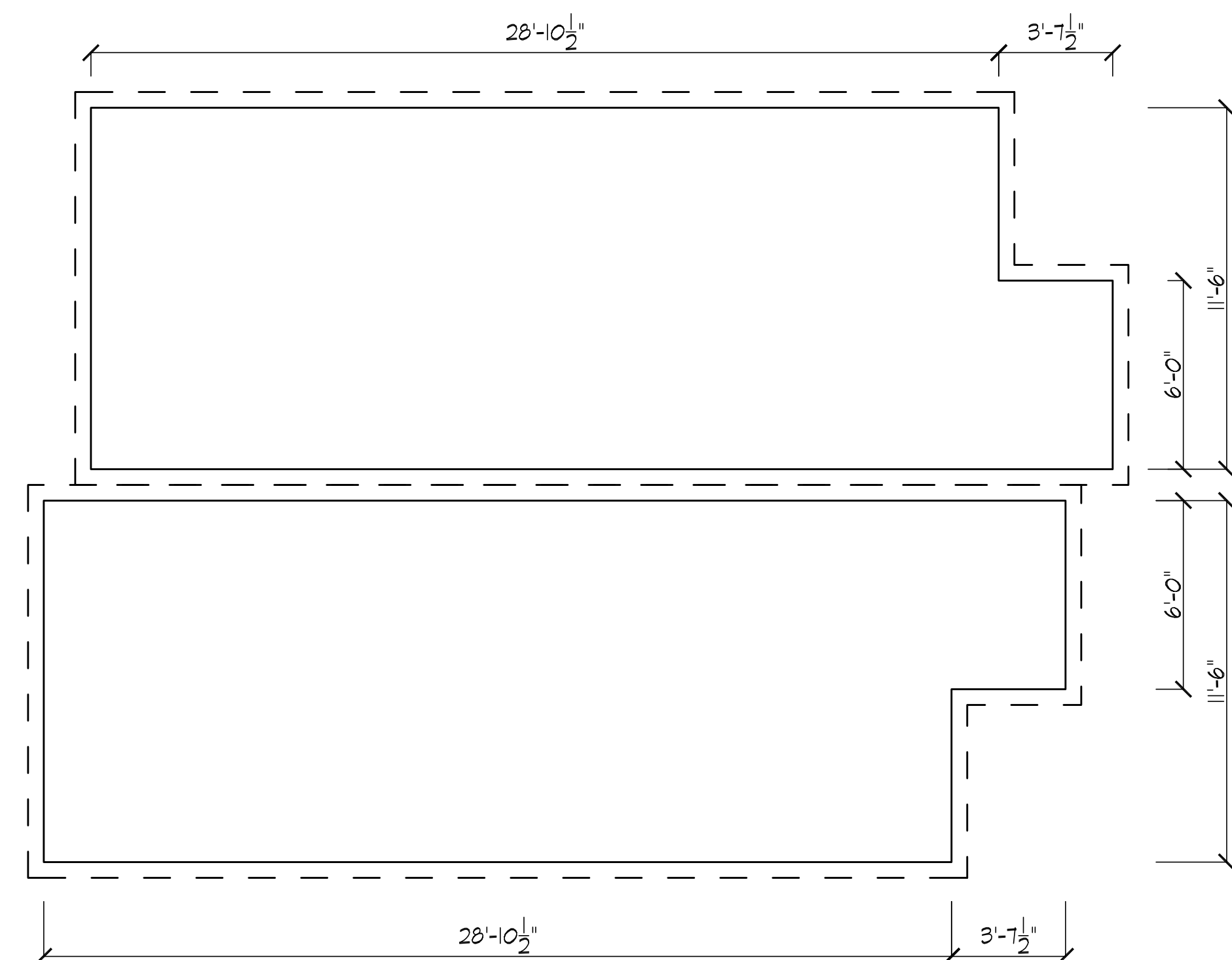
$$1/4'' = 1' - 0''$$


SECOND FLOOR PLAN

BUILDING 1

1/4" = 1'-0"

BUILDING

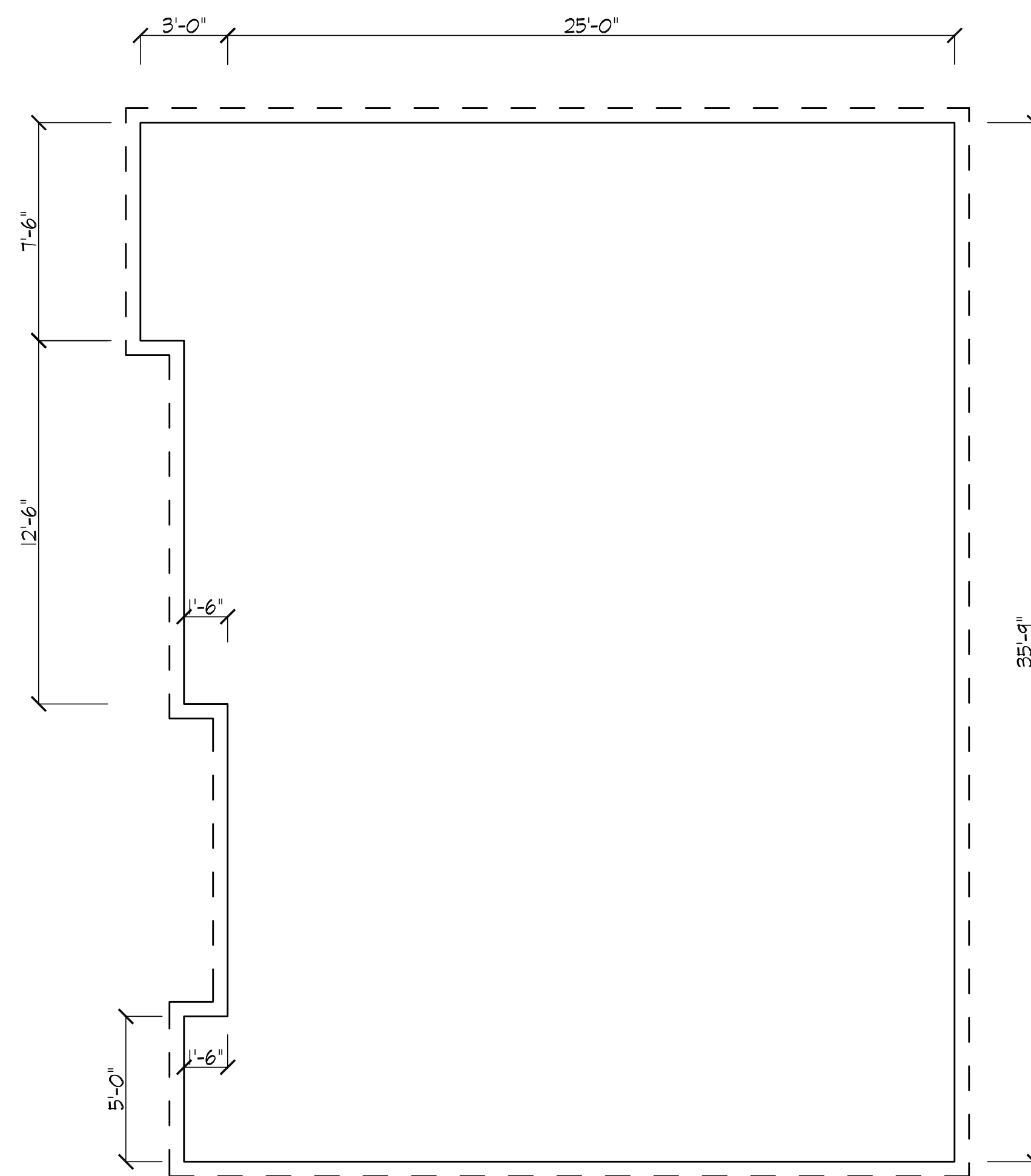
$$1/4'' = 1' - 0''$$


THIRD FLOOR PLAN

BUILDING 1 1/4" = 1'-0"

BUILDING

$$1/4'' = 1' - 0$$



FIRST FLOOR PLAN 

BUILDING 1 1/4"=1'-0"

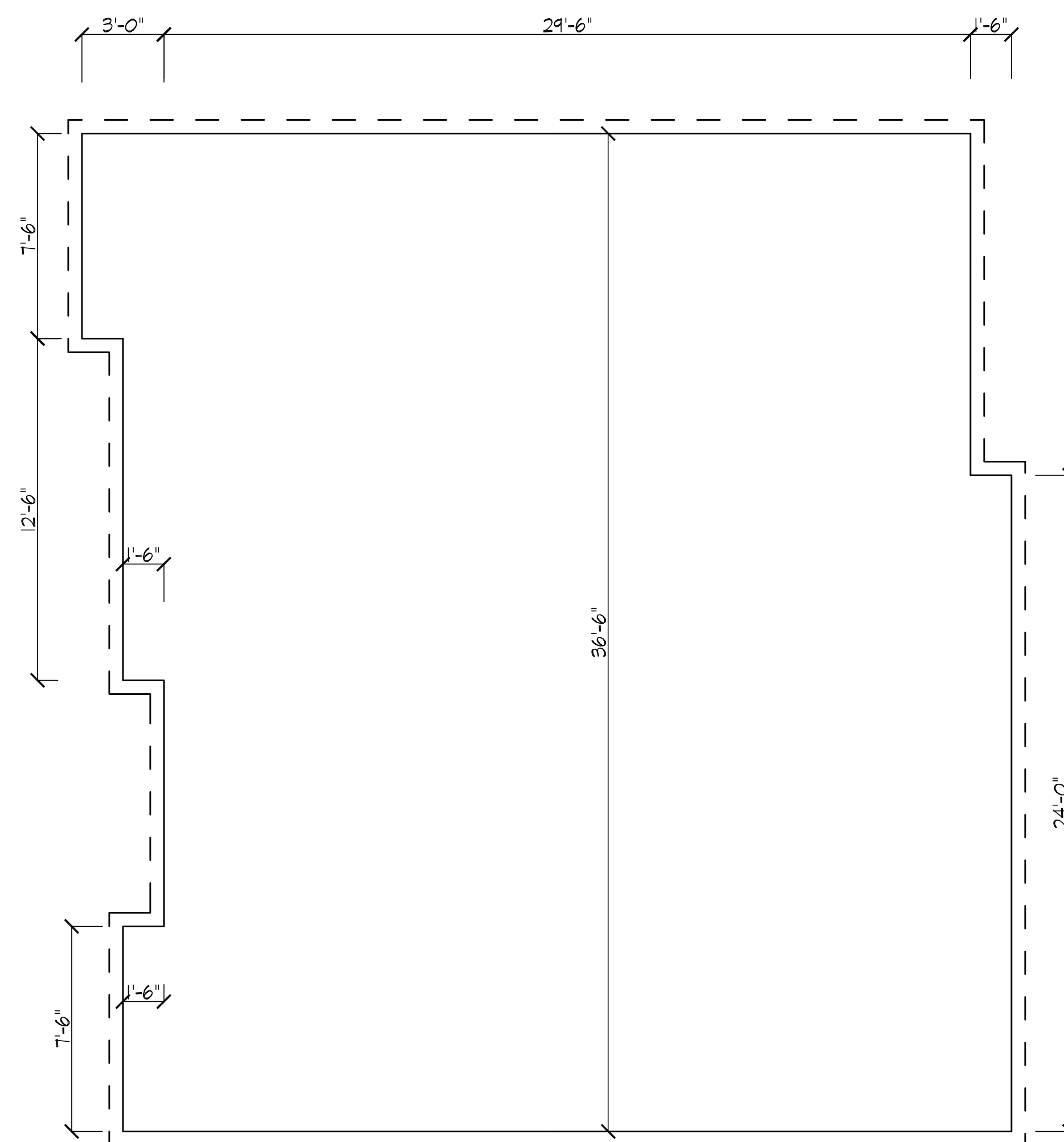
GROSS SQUARE FOOTAGE:

FIRST FLOOR (BOTH BUILDINGS):

SECOND FLOOR (BOTH BUILDINGS):

THIRD FLOOR (BOTH BUILDINGS):

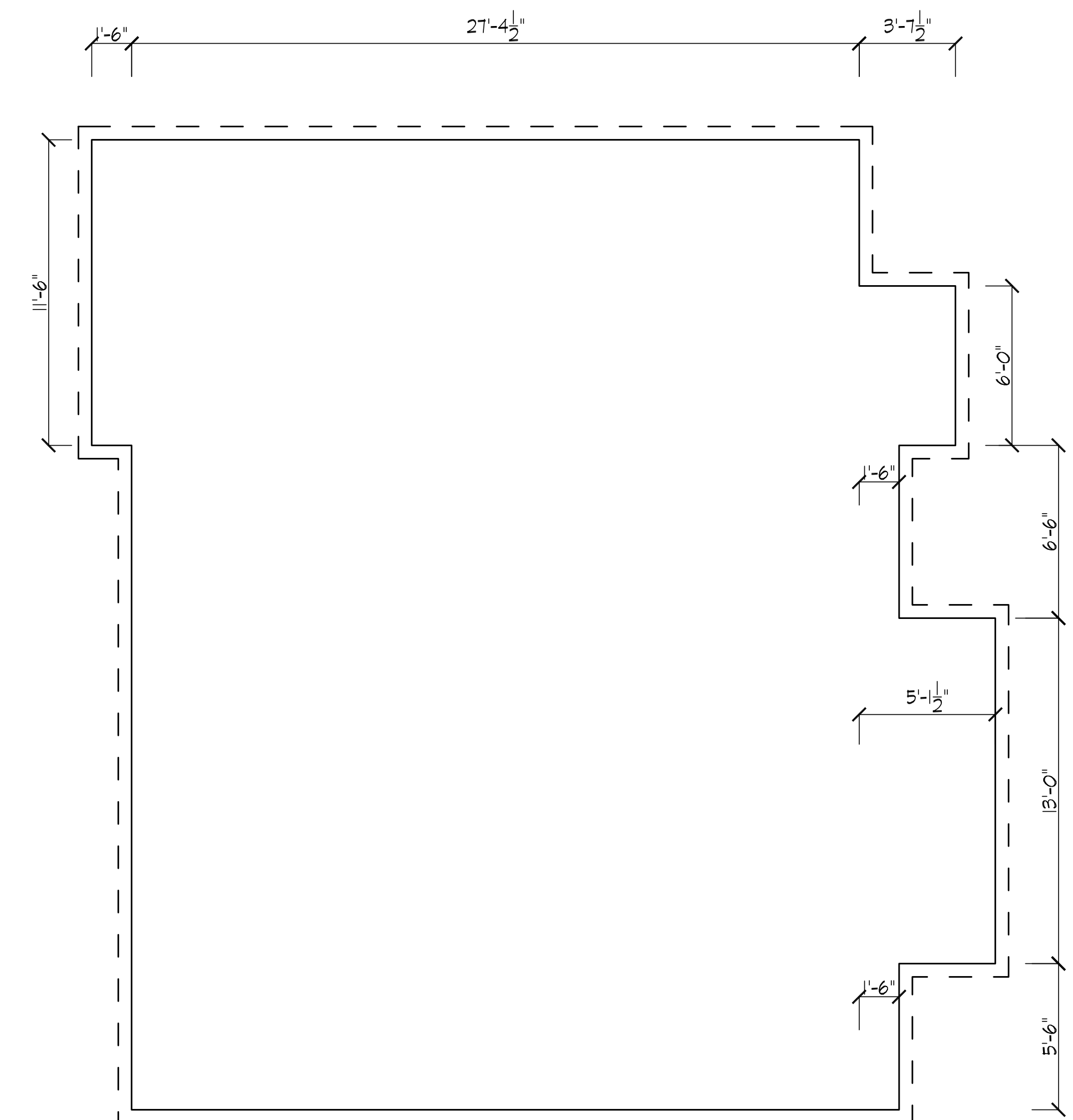
TOTAL GROSS SQUARE FOOTAGE = 5,351.5 SF



SECOND FLOOR PLAN

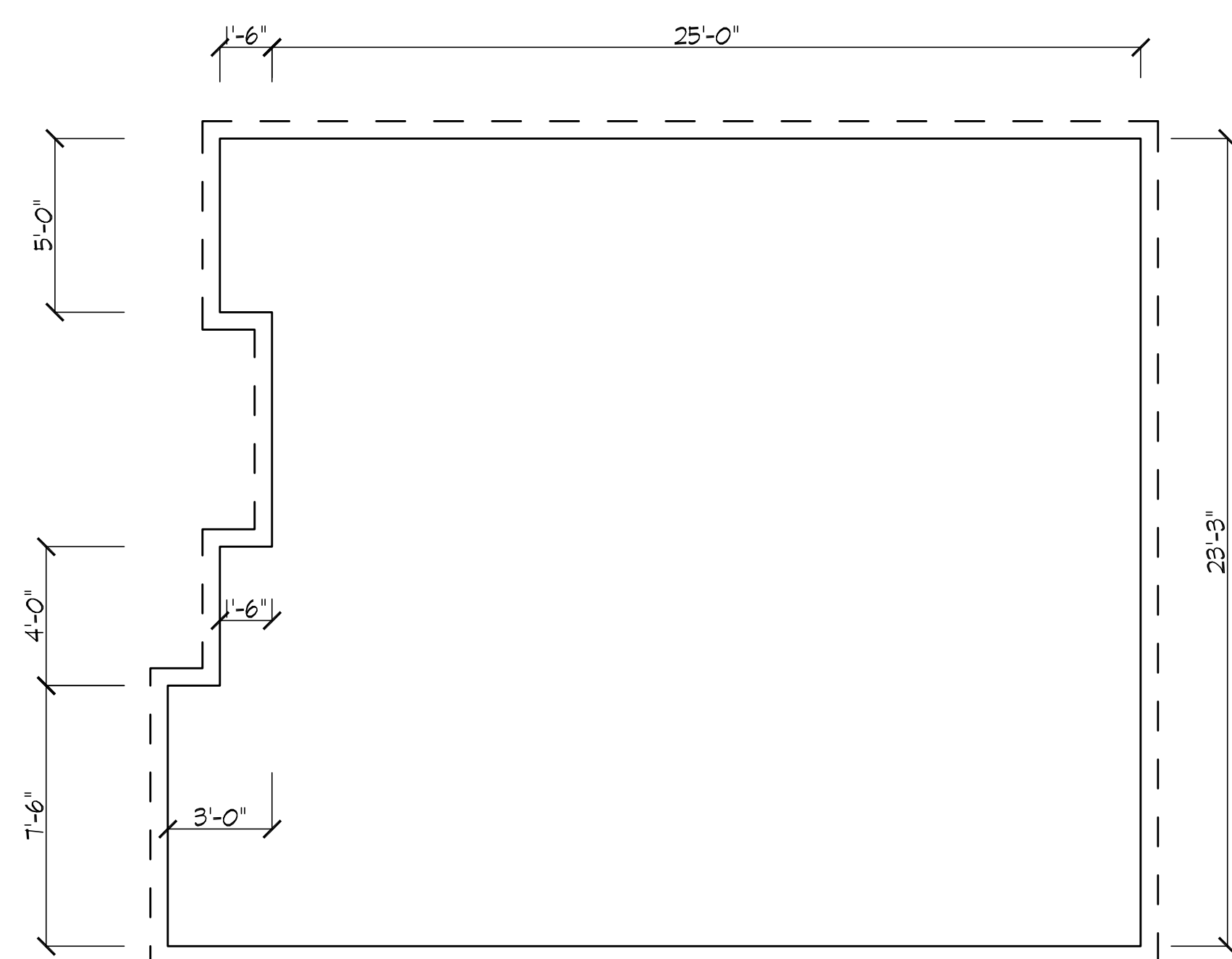
BUILDING 1

1/4"=1'-0"



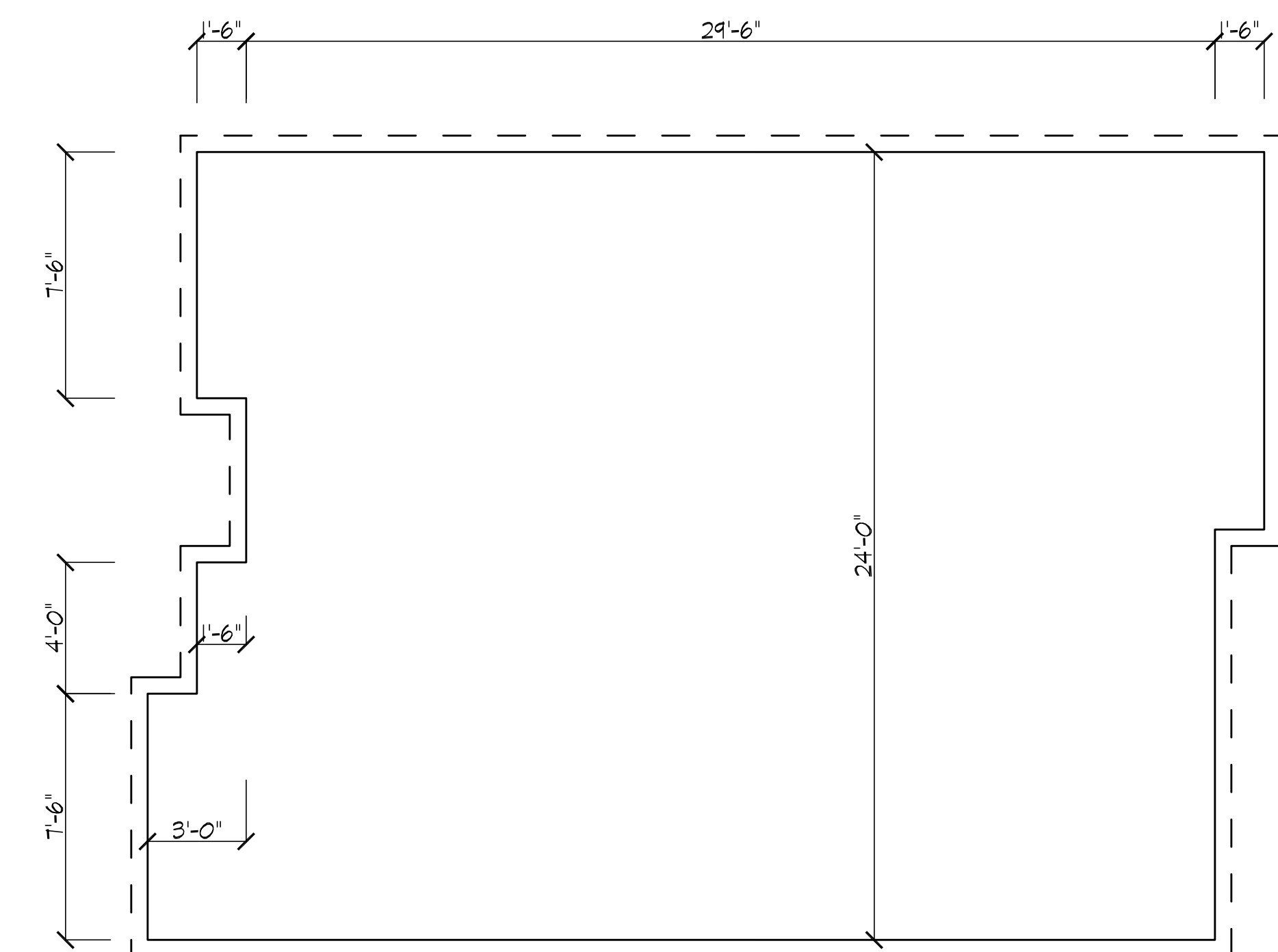
THIRD FLOOR PLAN 

BUILDING 1 1/4"=1'-0"



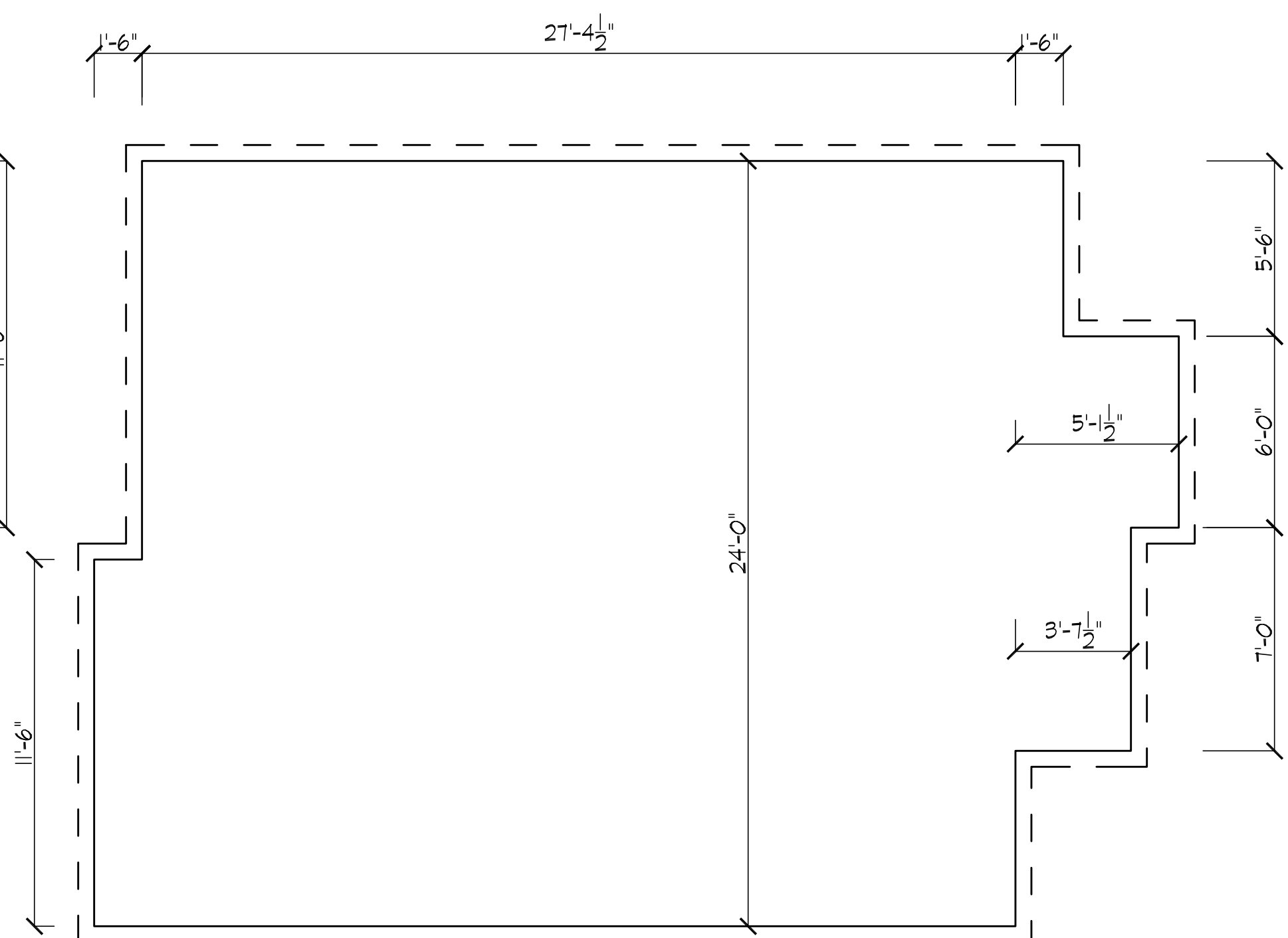
FIRST FLOOR PLAN 

BUILDING | 1/4" = 1'-0"



SECOND FLOOR PLAN

BUILDING 1 1/4" = 1'-0"



THIRD FLOOR PLAN

BUILDING 1 1/4" = 1'-0"

 **City of Seattle
Department of Planning
Development
Issued for Permit**

Issued By: 02/11/2021

GROSS SQ FOOTAGE PAGE

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4997
REGISTERED
ARCHITECT
RODRIGO E. NOVION
STATE OF WASHINGTON

NOVION
GROUP
INC. | ARCHITECTURE

8634B 3RD AVE NW
SEATTLE WASH 981
(206)361.6133FAX361.6

CONNECT ADDRESS

5038 SAND POINT PL. NE
SEATTLE, WA

OWNER/CLIENT

MRN HOMES LLC
7556 12TH AVE NE
SEATTLE, WA 98115
PH: 206-985-0212

ROYAL STAMP

12/2018

$$1/4'' = 1'' \text{ } O''$$

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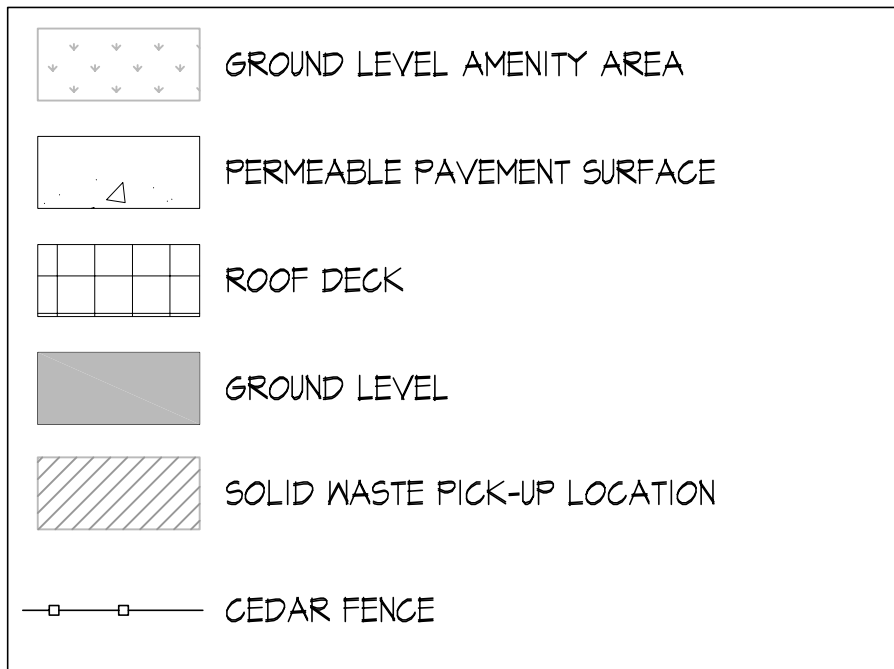
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A-1.2

REQUIRED AMENITY AREA: 4360 SFx25% = 1090.0 SF
REQUIRED AMENITY AREA GROUND LEVEL = 1090x50% = 545 SF
PROPOSED PRIVATE AMENITY AREA:
UNIT A1: 285.5 SF (GROUND LEVEL) + 321.875 SF (ROOF DECK)
UNIT A2: 43.75 SF (GROUND LEVEL) + 321.875 SF (ROOF DECK)
UNIT A3: 45.625 SF (GROUND LEVEL) + 321.875 SF (ROOF DECK)
UNIT A4: 0 SF (GROUND LEVEL) + 321.875 SF (ROOF DECK)
UNIT A5: 96.0 SF (GROUND LEVEL) + 321.875 SF (ROOF DECK)
TOTAL AMENITY AREA: 570.875 SF (GROUND LEVEL) + 1609.375 SF (ROOF DECK) = 2,180.25 SF
DROUGHT TOLERANT REQUIRED: 1,090x25% = 272.5 SF
PROPOSED DROUGHT TOLERANT: 326.0 SF

EXTERIOR LIGHTING TO BE SHIELDED
AND DIRECTED AWAY FROM ADJACENT
RESIDENTIAL USES PER SMC 23.45.534

PROVIDE 6' HIGH CEDAR FENCE TO PROTECT
ADJACENT PROPERTIES FROM LIGHT AND GLARE.
FENCES ON TOP OF RETAINING WALLS ARE LIMITED
TO 4' IN HEIGHT PER SMC 23.45.510.J.7.a



PRIVATE AMENITY AREA - UNIT A2:
GROUND LEVEL:
7.5'x12.5' = 93.75 SF
ROOF DECK:
25.75'x12.5' = 321.875 SF
TOTAL AMENITY AREA = 415.625 SF

PRIVATE AMENITY AREA - UNIT A3:
GROUND LEVEL:
7.5'x12.75' = 95.625 SF
ROOF DECK:
25.75'x12.5' = 321.875 SF
TOTAL AMENITY AREA = 417.5 SF

PRIVATE AMENITY AREA - UNIT A4:
ROOF DECK:
25.75'x12.5' = 321.875 SF
TOTAL AMENITY AREA = 321.875 SF

PRIVATE AMENITY AREA - UNIT A5:
GROUND LEVEL:
6'x16' = 96.0 SF
ROOF DECK:
25.75'x12.5' = 321.875 SF
TOTAL AMENITY AREA = 417.875 SF

PRIVATE AMENITY AREA - UNIT A1:
GROUND LEVEL:
15'x11.5' = 172.5 SF
8.5'x2' = 17.0 SF
6'x16' = 96.0 SF
TOTAL GROUND LEVEL = 285.5 SF
ROOF DECK:
25.75'x12.5' = 321.875 SF
TOTAL AMENITY AREA = 607.375 SF

DROUGHT TOLERANT:
33.5'x3.5' = 117.25 SF
TOTAL = 117.25 SF

DROUGHT TOLERANT:
21'x3.5' = 101.5 SF
14.5'x5.5' = 101.25 SF
TOTAL = 202.75 SF

(5) INDIVIDUAL 2'X6' SOLID
WASTE/RECYCLABLE
STORAGE AREAS

AMENITY AREA PLAN

SCALE: 1/8"=1' 0"

City of Seattle
Department of Planning
Development
Issued for Permit

Issued By: 02/11/2020

Date: 12/2018
Scale: 1/8"=1' 0"
Drawn: Rn Sn
SDCI #: 3033203-LU & 6666671-CN
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SECURITY
DETACHED ONE-FAMILY DWELLINGS AND DUPLEX.-
1. BUILDING ENTRANCE LOCKS. Building entrance doors, including garage doors, shall be capable of locking. They shall be equipped with a dead-locking latch bolt with at least a 1/2 - inch throw which penetrates the striker not less than 1/4 - inch. Building entrance doors shall be operable from the inside without use of a key or special knowledge or effort PER SRC R329.1.
EXCEPTION: Garage - to - exterior doors may be equipped with an electronically - operated remote control device for opening and closing in lieu of a deadlocking latch bolt . When garage - to - exterior doors are equipped with remote control devices, garage - to - building doors need not be capable of locking.
2. OBSERVATION PORTS. Every building entrance door, other than garage doors, shall have a visitor observation port or glass side light. Observation ports shall be installed at a height of not less than 54 inches and not more than 66 inches from the floor PER SRC R329.2.
3. WINDOWS AND SLIDING DOORS. Dead bolts or other approved locking devices shall be provided on all sliding doors and operable windows. The lock shall be installed so that the mounting screws for the lock case are inaccessible from the outside PER SRC R329.3.
EXCEPTION: Windows with sills located 10 feet or more above grade, or 10 feet or more above a deck, balcony or porch that is not readily accessible from grade except through a housing unit need not have operable inside latching devices.

OWNER / CONTRACTOR NOTES

1. CONTRACTOR TO PHYSICALLY INSPECT SITE PRIOR TO COMMENCING ANY WORK. REPORT ANY DISCREPANCY TO ARCHITECT. CONTRACTOR TO REVIEW CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION. ANY QUESTIONS SHOULD BE DIRECTED TO OWNER AND/OR ARCHITECT CONTRACTOR TO CROSS-REFERENCE WITH CITY APPROVED PLANS FOR ANY CHANGES AND/OR ADDITIONAL REQUIREMENTS BY CITY.
2. ALL INFORMATION CONTAINED IN THESE DOCUMENTS REPRESENTS A "BASIC LIMITED ARCHITECTURAL SERVICE" THAT REQUIRES THE CONTRACTOR TO BE KNOWLEDGEABLE AND EXPERIENCED WITH ALL ASPECTS OF CONSTRUCTION INCLUDING ALL BUILDING CODES AND REGULATIONS IMPOSED BY THE CITY OR COUNTY AND ANY OTHER AGENCY HAVING JURISDICTION OVER THE PROJECT.
3. ALL WORK SHALL COMPLY WITH THE STATE AND LOCAL ORDINANCES, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
4. THE CONTRACTOR SHALL CARRY ALL INSURANCE REQUIRED BY LAW.
5. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH LOCAL, STATE, FEDERAL REGULATIONS REGARDING SAFETY ON SITE SHALL BE THE CONTRACTORS RESPONSIBILITY.
6. NO DEVIATIONS FROM THESE DOCUMENTS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM ARCHITECT. ANY CHANGES CAN AFFECT THE STRUCTURAL INTEGRITY AND CODE RELATED ISSUES OF THE STRUCTURE.
7. ALL INFORMATION CONTAINED IN THESE DOCUMENTS IS FOR THE PURPOSE OF CONSTRUCTION PERMIT ACQUISITION AND CONSTRUCTION ONLY. THE INFORMATION PROVIDED IS NOT INTENDED FOR ANY OTHER PURPOSE AND NO OTHER USE IS INTENDED OR IMPLIED.e.g. PLAN INFORMATION IS NOT INTENDED TO BE USED AS A BASE FOR SALE OR TRANSFER OF REAL ESTATE
8. "BASIC LIMITED SERVICE" PROVIDES THE LOWEST LEVEL OF ARCHITECTURAL SERVICE WITH NO DRAWINGS AND SPECIFICATIONS PROVIDED OTHER THAN REQUIRED FOR PERMITS
9. UNLESS OTHERWISE SPECIFIED, ELECTRICAL, MECHANICAL, ETC. IS BIDDER DESIGNED, OWNER AND/OR AGENT (CONTRACTOR) IS RESPONSIBLE FOR ALL WORK DONE ON SITE (FIELD) AS TO PROPER INSTALLATION, ETC.
10. THE ARCHITECT MAY ASSIST IN COORDINATION WITH CONSULTANTS (SUCH AS SOILS, STRUCTURAL, CIVIL ENGINEERS, ETC.), BUT UNDER THE TERMS OF BASIC LIMITED SERVICE, RECEIVES NO COMPENSATION FOR AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE AREA OF THEIR (CONSULTANTS) WORK AND EXPERTISE.

ACCEPTANCE OF THESE PLANS FOR CONSTRUCTION CONSTITUTES AN UNDERSTANDING OF ABOVE MENTIONED ITEMS AND BASIC LIMITED ARCHITECTURAL SERVICE AS DESCRIBED IN AGREEMENT BETWEEN OWNER/ARCHITECT

GENERAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE, STATE ENERGY CODE, AND ALL OTHER APPLICABLE REGULATIONS AND AMENDMENTS. 2015 IRC WITH CITY OF SEATTLE AMENDMENTS.
2. SECURE ALL REQUIRED PERMITS. CALL FOR ALL REQUIRED INSPECTIONS.
3. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED GROUND, MIN. 18 INCHES BELOW FINISHED GRADE. REFER TO SOILS REPORT IF ONE IS AVAILABLE.
4. CONTRACTOR TO VERIFY EXISTING CONDITIONS, VERIFY DIMENSIONS, REPORT ANY DISCREPANCIES TO ARCHITECT, NO DEVIATIONS FROM PLANS SHOULD BE MADE WITHOUT ARCHITECTS WRITTEN APPROVAL.
5. PROVIDE SMOKE DETECTORS PER SRC R314 110 VOLTS, INTERCONNECT.
6. ALL EXTERIOR DOORS TO COMPLY WITH SRC R329 MIN 1/2 INCH THROW ON DEAD BOLT OR DEAD LATCH FOR DOORS. VISITOR OBSERVATION PORT FOR EXTERIOR DOORS. WINDOWS WITHIN 10 FT. OF GRADE CAPABLE OF BEING LOCKED. ALL LOCKS MUST BE ABLE TO BE OPENED WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT FROM INSIDE.
7. SKYLIGHTS PER SRC R308.6
8. SAFETY GLAZING: PER SRC R308 GLAZING IN OR WITHIN 24 IN. FROM DOORS AND GLAZING WITHIN 18 IN. OF FLOOR OR WALKING SURFACE. ADDITIONAL HAZARDOUS LOCATIONS PER SRC R308.4
9. ALL WOOD IN CONTACT WITH CONCR.T. TO BE PRESSURE TREATED PER SRC R317
10. ALL NAILING PER SRC TABLE R602.3, UNLESS OTHERWISE CALLED IN PLANS.
11. FIREBLOCKING, DRAFTSTOPS, AND FIRESTOPS PER SRC R302.11 & R302.12
12. LEDGER CONNECTIONS PER SRC R502.6.2
13. DOUBLE JOIST/BLOCK UNDER ALL BEARING PARTITIONS. SRC R502.4
14. INSTALL CROSS BRIDGING AT ALL JOIST SPANS EXCEEDING EIGHT FEET. R 502.7.1

PLAN NOTES:
2015 SEATTLE RESIDENTIAL CODE
1) STAIRS: COMPLY WITH SEC. R311.7 RISE AND RUN PER R311.7.5.1&2
MAX RISE 7 $\frac{1}{2}$ "-RISER HEIGHT DIFFERENCE WITHIN FLIGHT OF STAIRS SHALL NOT EXCEED $\frac{3}{8}$ "
MIN RUN (TREAD DEPTH) SHALL BE 10".
HANDRAILS PER SRC R311.7.8, NOT LESS THAN 34" OR MORE THAN 38" ABOVE STAIR NOSING, ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
HANDGRIP PER SRC R311.7.7.3: NOT LESS THAN 1 1/4" OR MORE THAN 2" DIA., PROJECT MIN. 1 1/2" FROM WALL. HEADROOM PER SRC R311.8.2 6'-8" MIN.,
ENCLOSED USABLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE PER 1 - HR. FIRE RESISTIVE CONSTRUCTION PER SRC 302.7 - FIRE BLOCK PER SRC R302.11, CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF RUN, BETWEEN STUDS AND ALONG LINE OF STAIRS AND SRC R302.11 FIRE BLOCK CONSTRUCTION.
2) SRC R302.5.1 GARAGE OPENING PROTECTION: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF CLOSING DEVICE.
3) TUB / SHOWER NOTES: COMPLY WITH SRC R307 NOT NON ABSORBENT SURFACE. G.W.B., NO VAPOR BARRIER BEHIND WATER RESISTANT G.W.B. SPECIFIED AS BASE FOR TILE ON SHOWER ENCLOSURES, WATER RESISTANT G.W.B. NOT INSTALLED ON CEILING IF FRAMING EXCEEDS 12' OC. WALLS AND SHOWERS: WATERPROOF TO 72" ABOVE DRAIN INLET. SHOWER DOORS PER SRC R308 COMPLY WITH SAFETY GLAZING REQUIREMENTS. FIREBLOCK BETWEEN STUDS. SHOWER FLOW TO 2.5 G.P.M. MAX.
4) CRAWL SPACE ACCESS PER SRC R408.4, MIN. 18" X 24" UNOBSTRUCTED OPENING
5) ATTIC ACCESS PER SRC R807, 22" X 30" MIN. OPENING, 30" MIN. CLEAR HEADROOM, ROOF VENTILATION PER SRC R806
6) FACTORY-BUILT CHIMNEYS PER SRC R1005 AND FIREPLACES PER SRC R1004, TO BE U-L APPROVED, LABELED AND INSTALLED PER MANUFACTURER SPECIFICATIONS AND U.M.C. 503, ANCHORED AT EACH FLOOR AND ROOF WITH 2 - 1 1/2" X 1/8" METAL STRAPS LOOPED AROUND OUTSIDE OF CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN 51X(6) 8d NAILS PER STRAP EACH JOIST.
FIRE BLOCK PER SRC R602.8, OPENING AT CHIMNEY, FIREPLACES AT CEILING AND FLOOR LEVELS, ATTIC SPACES AND CHIMNEY CHASES.
7) GUARD RAILS PER SRC R312, MIN 36" HEIGHT PER SRC R312.1, 4" MAX. SPACE BETWEEN RAILS- SRC R312.3 TRIANGULAR OPENINGS AT RISER, TREAD, BOTTOM ELEMENT OF RAIL, 6" MAXIMUM. PER EXCEPTION 1
8) HOT WATER HEATER SHALL MEET NAECA 2004 REQUIREMENTS AND BE SO LABELED, ELECTRIC HOT WATER HEATER IN UNHEATED SPACES SHALL BE PLACED ON INCOMPRESSIBLE R-10 SURFACE.
PROVIDE SEISMIC STRAPS TO STUDS.
9) EMERGENCY EGRESS PER SRC R310, MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. , NET CLEAR HEIGHT 24" MIN., MIN. NET CLEAR OPENABLE WIDTH 20", SILL HEIGHT NOT MORE THAN 44" ABOVE FLOOR.
10) SMOKE DETECTORS PER SRC R314, PROVIDE PERMANENT POWER SOURCE WITHOUT DISCONNECTING SWITCH WITH BATTERY BACKUP PER SRC R314.4, LOCATION PER SRC R314.3, EACH SLEEPING ROOM AND POINT CENTRALLY LOCATED IN CORRIDOR AND IN ACCORDANCE WITH APPROVED MANUF'R INSTRUCTIONS.
11) INDIVIDUAL ROOM OUTSIDE AIR INLETS PER SRC M1508.4.5 - SHALL HAVE CONTROLLABLE AND SECURE OPENING NOT LESS THAN 4 SQ. INCHES. TESTED BY NAT. RECOGNIZED STANDARD OR APPROVED AGENCY LOCATED SO AS NOT TO TAKE AIR FROM FOLLOWING:
CLOSER THAN 10' FROM APPLIANCE VENT OUTLET (UNLESS VENT IS 3'-0" ABOVE INLET) WHERE IT WOULD PICK UP OBJECTIONABLE ODORS, FUMES, OR FLAMMABLE VAPORS, HAZARDOUS OR UNSANITARY LOCATIONS.

SDCI Director's Rule 20-2017
Page 7 of 7

Green Building Standards Commitment Form

Instructions	
1. If applying for a Master Use Permit, complete part A	
2. If applying for a Building Permit, complete both parts A and B	
3. Financially responsible party or owner shall sign and date	
4. This Commitment shall be embedded on permit plan set	
Please Print:	
SDCI Project Number	3038303-LU & 6686871-CN
Project Address	5038 SAND POINT PL. NE
Property Owner or Financially Responsible Party - Name	MICHAEL NELSON
Property Owner or Financially Responsible Party - Business Name	MNR HOMES LLC
Address	7556 12TH AVE NE
City/State/Zip	SEATTLE, WA 98115
Email	MICHAEL@MNRHOMESLLC.COM

Part A - Prior to issuance of Master Use Permit or Building Permit

I agree to meet the green building standards pursuant to SMC 23.58D and Director's Rule 20-2017 by certifying the project under the selected building industry certification programs and building the proposed project to achieve an annual energy use of at least 15 percent lower than the standard reference design calculated in the 2015 Seattle Energy Code.

- Select one building industry certification program:
- Leadership in Energy and Environmental Design (LEED) for Building Design and Construction Gold, version 4
 - LEED for Homes, Gold, version 4
 - Built Green 4 Star, single family new construction checklist WSEC 2015 (6/19/2017)
 - Built Green 4 Star, multifamily new construction checklist 2017
 - Passive House Institute (PHI), Passive House Planning Package (PHPP) version 8.5 or 9 (2016)
 - Passive House Institute US (PHIUS), version PHIUS + 2015
 - Living Building Challenge (LBC) - Zero Energy Certification
 - LBC Living Certification version 3.1
 - Evergreen Sustainable Development Standard (ESDS), version 3.0

I acknowledge the compliance requirements in SMC 23.58D.004, and shall submit documentation from the selected certification program within 180 days from the issuance of the final certificate of occupancy (COO) or final inspection, if no COO is required. I acknowledge the requirements in SMC 23.58D.006, that failure to submit the certification report within 180 days, or by such later date as may be allowed by the director shall result in penalties of \$500 per day and up to a maximum penalty of 2 percent of construction value.

Part B - Prior to issuance of Building Permit

To ensure compliance with the selected building industry certification program, the referenced project has been registered or enrolled. The registration number or enrollment ID is **2019&F223**

Property Owner or Financially Responsible Party Signature Date 5/22/19

WASHINGTON STATE ENERGY CODE NOTES- 2015:
R401.2 COMPLIANCE. PROJECTS SHALL COMPLY WITH SECTIONS IDENTIFIED AS "MANDATORY" AND WITH EITHER SECTIONS IDENTIFIED AS "PRESCRIPTIVE" OR THE PERFORMANCE APPROACH IN SECTION R405. IN ADDITION, ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES, AS DEFINED IN SECTION 101.2 OF THE INTERNATIONAL RESIDENTIAL CODE, SHALL COMPLY WITH SECTION R406.

R401.3 CERTIFICATE (MANDATORY). A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

R403.1 CONTROLS (MANDATORY). AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

R403.1.1 PROGRAMMABLE THERMOSTAT. WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55°F (13°C) OR UP TO 85°F (29°C). THE THERMOSTAT SHALL INITIALLY BE PROGRAMMED WITH A HEATING TEMPERATURE SET POINT NO HIGHER THAN 70°F (21°C) AND A COOLING TEMPERATURE SET POINT NO LOWER THAN 78°F (26°C). THE THERMOSTAT AND/OR CONTROL SYSTEM SHALL HAVE AN ADJUSTABLE DEADBAND OF NOT LESS THAN 10°F.
EXCEPTIONS:
1. SYSTEMS CONTROLLED BY AN OCCUPANT SENSOR THAT IS CAPABLE OF SHUTTING THE SYSTEM OFF WHEN NO OCCUPANT IS SENSED FOR A PERIOD OF UP TO 30 MINUTES.
2. SYSTEMS CONTROLLED SOLELY BY A MANUALLY OPERATED TIMER CAPABLE OF OPERATING THE SYSTEM FOR NO MORE THAN TWO HOURS.

R403.2.2 SEALING (MANDATORY). DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE.
EXCEPTIONS:
1. AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
2. WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
3. CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIC PRESSURES LESS THAN 2 INCHES OF WATER COLUMN (500 PA) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS. DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH NSU RS-33, USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED. DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING:

- POSTCONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM (113.3 L/MIN) PER 100 SQUARE FEET (9.29 M2) OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTER BOOTS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. LEAKAGE TO OUTDOORS SHALL BE LESS THAN OR EQUAL TO 4 CFM (133.3L/MIN) PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA.
- ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM (113.3 L/MIN) PER 100 SQUARE FEET (9.29 M2) OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 PA) ACROSS THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. IF THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 3 CFM (85 L/MIN) PER 100 SQUARE FEET (9.29 M2) OF CONDITIONED FLOOR AREA. EXCEPTION: THE TOTAL LEAKAGE TEST IS NOT REQUIRED FOR DUCTS AND AIR HANDLERS LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE. DUCTS LOCATED IN CRAWL SPACES DO NOT QUALIFY FOR THIS EXCEPTION.

R403.2.3 BUILDING CAVITIES (MANDATORY). BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. INSTALLATION OF DUCTS IN EXTERIOR WALLS, FLOORS OR CEILINGS SHALL NOT DISPLACE REQUIRED ENVELOPE INSULATION.

R403.3 MECHANICAL SYSTEM PIPING INSULATION (MANDATORY). MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105°F (41°C) OR BELOW 55°F (13°C) SHALL BE INSULATED TO A MINIMUM OF R-6.

R403.3.1 PROTECTION OF PIPING INSULATION. PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DAMAGE, INCLUDING THAT CAUSED BY SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND, AND SHALL PROVIDE SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE MATERIAL. ADHESIVE TAPE SHALL NOT BE PERMITTED

R403.4.1 CIRCULATING HOT WATER SYSTEMS (MANDATORY). CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE

R403.5 MECHANICAL VENTILATION (MANDATORY). THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

R403.5.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.5.1. EXCEPTION: WHERE MECHANICAL VENTILATION FANS ARE INTEGRAL TO TESTED AND LISTED HVAC EQUIPMENT, THEY SHALL BE POWERED BY AN ELECTRONICALLY COMMUTATED MOTOR.

R403.6 EQUIPMENT SIZING (MANDATORY). HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES.

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

R404.1.1 LIGHTING EQUIPMENT (MANDATORY). FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.



Issued By:

02/11/2020

Date 12/2018

Scale

Drawn

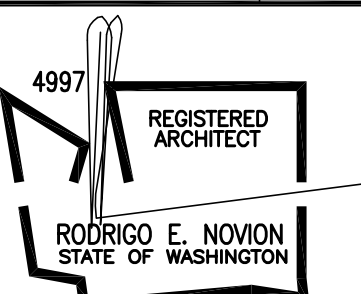
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A-3.0

REVISION	DATE
MUP CORR-1	SN 10/2019



NOVION GROUP INC. ARCHITECTURE

8634B 3RD AVE NW
SEATTLE WASH 98117
PH(206)361.6133FAX361.6345

PROJECT ADDRESS

5038 SAND POINT PL. NE
SEATTLE, WA

OWNER/CLIENT

MNR HOMES, LLC
7556 12TH AVE NE
SEATTLE, WA 98115
PH: 206-985-0212

APPROVAL STAMP

<p>FIRE DEPARTMENT NOTES:</p> <p>1. MULTIPLE STATION SMOKE ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER 2012 SRC R314:</p> <p>a. IN EACH ROOM USED FOR SLEEPING PURPOSES.</p> <p>b. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.</p> <p>c. IN EACH LEVEL WITHIN A DWELLING UNIT, INCLUDING BASEMENTS AND EXCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.</p> <p>2. NO STORAGE OR USE OF FLAMMABLE OR COMBUSTIBLE LIQUIDS, CUTTING OR WELDING OPERATIONS, ROOFING OPERATIONS OR USE OF FLAMMABLE GAS FOR TEMPORARY HEATING OR DRYING SHALL BE CONDUCTED ON ANY CONSTRUCTION SITE WITHOUT FIRST HAVING OBTAINED A SPECIFIC PERMIT FROM THE SEATTLE FIRE DEPARTMENT FOR THESE HAZARDOUS ACTIVITIES. PLEASE CALL 206-386-1025 FOR PERMIT INFORMATION.</p> <p>3. IF THERE IS AN EXISTING UNDERGROUND HEATING OIL TANK AT THE SITE, IT SHALL BE DECOMMISSIONED AND REMOVED FROM THE SITE IN ACCORD WITH SFD ADMINISTRATIVE RULE 34.02.04. SUCH WORK SHALL ONLY BE CONDUCTED BY A CERTIFIED UNDERGROUND STORAGE TANK DECOMMISSIONER, AND SUCH WORK REQUIRES A SEATTLE FIRE DEPARTMENT PERMIT. CALL 206-386-1025 FOR PERMIT INFORMATION.</p> <p>WSEC SECTION R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS</p> <p>1. SMALL DWELLING UNIT: DWELLING UNITS UNDER 1500SF IN CONDITIONED FLOOR AREA.....1.5 MIN CREDITS</p> <p>2. MEDIUM DWELLING UNIT: ALL DWELLING NOT INCLUDED IN #1 OR #3..... 3.5 CREDITS</p> <p>3. LARGE DWELLING UNIT: DWELLING UNITS OVER 5000SF IN CONDITIONED FLOOR AREA.....4.5 MIN CREDITS</p> <p>WSEC TABLE 406.2 ENERGY CREDITS REQUIREMENTS</p> <p>2. SMALL DWELLING UNIT.....1.5 CREDITS REQUIRED</p> <p>PROPOSED: OPTION 5c. EFFICIENCY WATER HEATING CREDITS 1.5</p> <p>5c. EFFICIENT WATER HEATING 5C: WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: GAS, PROPANE OR OIL WATER HEATER WITH A MINIMUM EF OF 0.91</p> <p>WASHINGTON STATE ENERGY CODE NOTES: BUILDING AIR LEAKAGE REQUIREMENTS TO COMPLY WITH R402.4. DUCTS SHALL BE IN ACCORDANCE WITH R403.2. MINIMUM 75% OF ALL INTERIOR LAMPS SHALL BE HIGH EFFICACY LAMPS. ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LAMPS PER R404. A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH R401.3 IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.</p> <p>ARTIFICIAL LIGHT REQUIRED FOR HABITABLE ROOMS WITHOUT GLAZED AREAS PROVIDING NATURAL LIGHT PER SRC R303.1</p> <p>EVERY DWELLING UNIT SHALL BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER SRC R303.4</p> <p>MIN. 7'-0" CEILING HEIGHT REQUIRED FOR HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS PER SECTION SRC R305</p> <p>TOILET, BATH AND SHOWER SPACES PER SRC 301 & FIGURE SRC R301.1: PROVIDE MIN. 30" CLEAR WIDTH AND MIN. 21" CLEARANCE IN FRONT OF WATER CLOSET; 15" SEPARATION OF WATER CLOSET AND BATHTUB MEASURED FROM EDGE OF BATHTUB TO CL OF WATER CLOSET; AND, 4" SEPARATION FROM EDGE OF WATERCLOSET TO EDGE OF SINK. WALL COVERINGS SHALL BE A NONABSORBANT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE DRAIN IN SHOWERS OR TUBS WITH SHOWERS PER SRC R301.2. SWING SHOWER DOOR OUTWARD</p>	<p>GLASS ENCLOSURE DOORS & PANELS SHALL COMPLY WITH TEST CRITERIA FOR CATEGORY II UNLESS OTHERWISE INDICATED IN TABLE R303.3.1. SWING DOOR OUTWARD. SAFETY GLAZING IS REQUIRED TO BE PERMANENTLY MARKED PER SRC R303.1.</p> <p>GARAGE SLAB SLOPE TO DRAIN TOWARDS GARAGE DOOR PER SRC R309.1</p> <p>TYP. BEDROOM WINDOW TO COMPLY WITH SRC R310. EMERGENCY EGRESS 5.7 SF MIN. NET CLEAR OPENING: 20 INCH MIN. CLEAR OPENING WIDTH, 24 INCH MIN. CLEAR OPENING HEIGHT, AND 44 INCH MAX. SILL HEIGHT</p> <p>SRC 310.1 - WHERE CASEMENT WINDOWS ARE USED FOR REQUIRED EGRESS, THE WINDOW SHOULD BE ALLOWED TO OPEN A MINIMUM OF 90 DEGREES FROM CLOSED POSITION AND IN OPEN POSITION SHALL NOT REDUCE THE REQUIRED WIDTH FOR EGRESS</p> <p>ANY WINDOW WITH AN OPENING LOCATED 12" ABOVE FINISHED GRADE AND WITHIN 24" OF THE FINISHED FLOOR OF THE ROOM IT IS LOCATED SHALL BE FIXED OR HAVE OPENINGS LESS THAN 4 INCHES.</p> <p>STAIR WIDTHS AND HALLWAYS SHALL HAVE A MIN. CLEARANCE OF 36" INCHES PER SRC R311.6 AND R311.7</p> <p>THE MAXIMUM RISER HEIGHT SHALL BE 7 ³/₄". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN ³/₈" PER SRC R311.7.5.1. THE MINIMUM TREAD DEPTH SHALL BE 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY ³/₈" PER SRC R311.7.5.2. STAIR WINDERS SHALL HAVE A MIN. TREAD DEPTH OF 6" AT ANY POINT AND A MIN. TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER. THE GREATEST WINDER DEPTH AT THE 12" WALKLINE SHALL NOT EXCEED THE SMALLEST BY ³/₈" PER SRC R311.7.5.2.1</p> <p>STAIRWAYS SHALL BE ILLUMINATED & CONTROLLED BY SWITCHES LOCATED AT BOTH TOP AND BOTTOM OF STAIRS PER SRC R303.7</p> <p>GAS FIREPLACE (DIRECT VENT) PROVIDE 6 SQ INCH OUTSIDE COMBUSTION AIR</p> <p>PREFABRICATED FIREPLACE TO BE TESTED IN ACCORDANCE WITH UL 121 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND THE MANUFACTURERS INSTRUCTIONS PER SRC R100.4.</p> <p>HEARTH TO BE CONSTRUCTED OF NON COMBUSTIBLE MATERIAL. HEARTH EXTENSIONS SHALL EXTEND AT LEAST 16" IN FRONT AND AT LEAST 8 INCHES BEYOND EACH SIDE OF FIREPLACE OPENING. FOR FIREPLACE OPENINGS 6 SQUARE FEET OR LARGER THE HEARTH EXTENSIONS SHALL EXTEND AT LEAST 20 INCHES IN FRONT AND AT LEAST 12 INCHES BEYOND EACH SIDE OF THE FIREPLACE OPENING PER SRC R100.1.10</p> <p>CLOTHES DRYER SHALL BE EXHAUSTED TO THE OUTSIDE OF THE BUILDING AND INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS PER SRC M1502.2. THE CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 35' IN LENGTH FROM THE DRYER LOCATION TO THE EXTERIOR TERMINATION. THE MAX. DUCT LENGTH SHALL BE REDUCED BY 2.5 FT FOR EACH 45-DEGREE BEND AND 5 FT FOR EACH 90-DEGREE BEND PER TABLE M1502.4.4.1</p> <p>WATER HEATERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS PER SRC CHAP 20, 24&28</p>
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FENESTRATION SCHEDULE - UNITS A1&A5 (PER UNIT)

LOCATION	SIZE	AREA	REMARKS
FIRST FLOOR			
BEDROOM	(2)2650	25.0	TOP FIXED-BOTTOM CASEMENT EGRESS
BEDROOM	2616	3.75	FIXED
BEDROOM	2616	3.75	FIXED
BEDROOM	2650	12.5	TOP FIXED-BOTTOM CASEMENT EGRESS
BEDROOM	2616	3.75	FIXED
SECOND FLOOR			
GREAT ROOM	2680	15.0	TOP & MIDDLE FIXED-BOTTOM FIXED SG
GREAT ROOM	2680	20.0	TOP FIXED-MID CASEMENT-BOTTOM FIXED SG
GREAT ROOM	2660	15.0	TOP FIXED-BOTTOM CASEMENT
GREAT ROOM	2616	3.75	FIXED
GREAT ROOM	5060	30.0	TOP FIXED-BOTTOM SLIDER
KITCHEN	2646	11.25	TOP FIXED-BOTTOM CASEMENT
POWDER ROOM	2030	6.0	SINGLE HUNG-SAFETY GL
THIRD FLOOR			
MSTR BEDROOM	5046	22.5	TOP FIXED-BOTTOM SLIDER EGRESS
MSTR BEDROOM	(2)2666	32.5	FIXED
MSTR BEDROOM	2616	3.75	FIXED
MSTR BATHROOM	2030	6.0	SINGLE HUNG-SAFETY GL
MSTR BATHROOM	2616	3.75	FIXED-SAFETY GL
STAIR LANDING	2868	17.77	DECK SWING DOOR-SAFETY GL
TOTAL GLAZING		236.02 SF	
OPAQUE DOOR SCHEDULE			
LOCATION	SIZE	MANUFACTURER #	REMARKS
FIRST FLOOR			
ENTRY	3068	CCVF050	THERMA-TRU FIBERGLASS

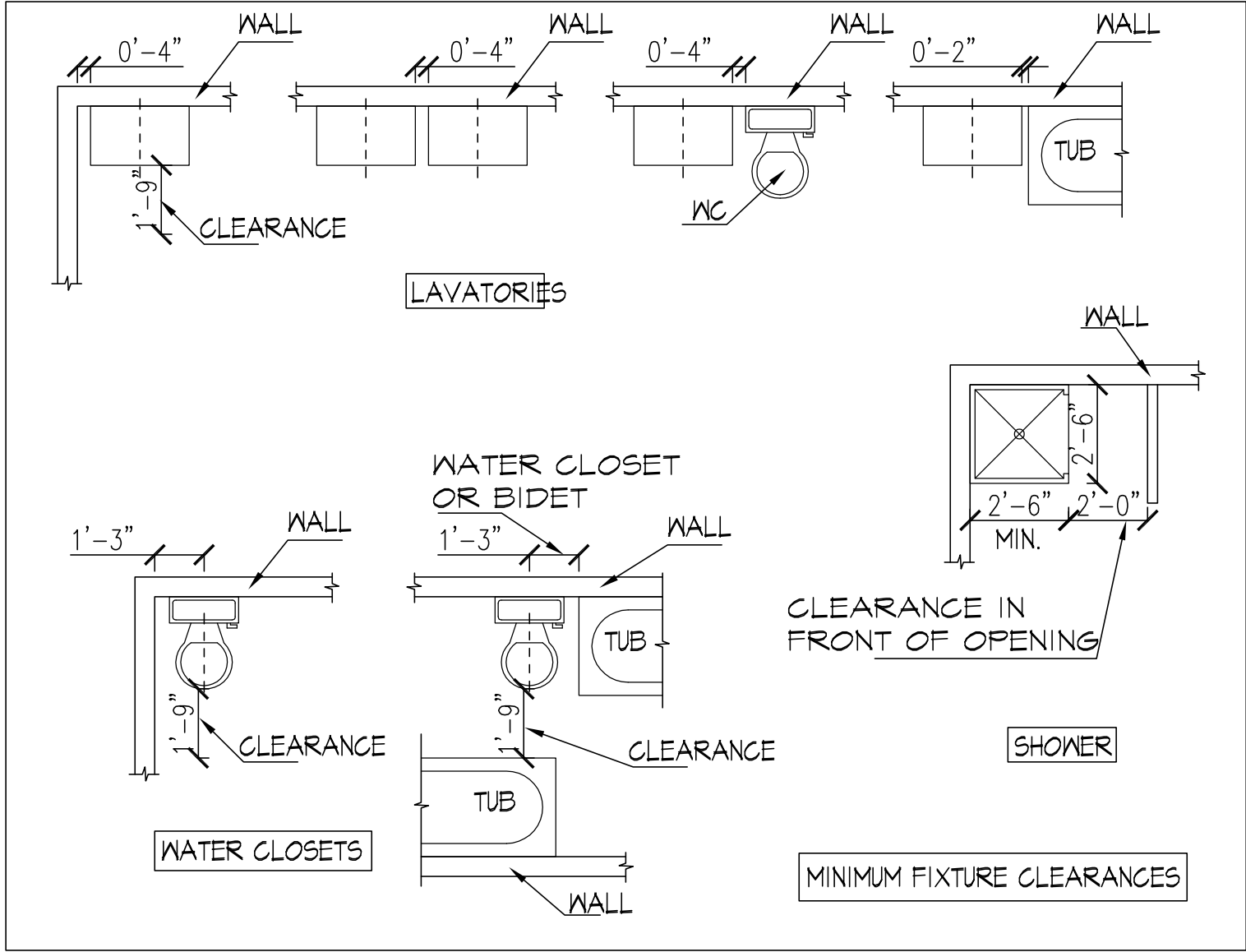
FENESTRATION SCHEDULE - UNITS A3&A4 (PER UNIT)

LOCATION	SIZE	AREA	REMARKS
FIRST FLOOR			
BATHROOM	2630	7.5	SINGLE HUNG-SAFETY GL
BATHROOM	2630	7.5	FIXED-SAFETY GL
BEDROOM	2616	3.75	FIXED
BEDROOM	2650	12.5	TOP FIXED-BOTTOM CASEMENT EGRESS
BEDROOM	2616	3.75	FIXED
SECOND FLOOR			
GREAT ROOM	2680	15.0	TOP & MIDDLE FIXED-BOTTOM FIXED SG
GREAT ROOM	(2)2680	40.0	TOP FIXED-MID CASEMENT-BOTTOM FIXED SG
GREAT ROOM	2660	15.0	FIXED
GREAT ROOM	5060	30.0	TOP FIXED-BOTTOM SLIDER
KITCHEN	2646	11.25	TOP FIXED-BOTTOM CASEMENT
POWDER ROOM	2030	6.0	SINGLE HUNG-SAFETY GL
THIRD FLOOR			
MSTR BEDROOM	5046	22.5	TOP FIXED-BOTTOM SLIDER EGRESS
MSTR BEDROOM	(2)2666	32.5	FIXED
MSTR BEDROOM	2616	3.75	FIXED
MSTR BATHROOM	2030	6.0	SINGLE HUNG-SAFETY GL
MSTR BATHROOM	2616	3.75	FIXED-SAFETY GL
STAIR LANDING	2868	17.77	DECK SWING DOOR-SAFETY GL
TOTAL GLAZING		238.52 SF	
OPAQUE DOOR SCHEDULE			
LOCATION	SIZE	MANUFACTURER #	REMARKS
FIRST FLOOR			
ENTRY	3068	CCVF050	THERMA-TRU FIBERGLASS

FENESTRATION SCHEDULE - UNIT A2:

LOCATION	SIZE	AREA	REMARKS
FIRST FLOOR			
BATHROOM	2630	7.5	SINGLE HUNG-SAFETY GL
BEDROOM	2650	12.5	TOP FIXED-BOTTOM CASEMENT EGRESS
BEDROOM	2616	3.75	FIXED
SECOND FLOOR			
GREAT ROOM	(2)2680	40.0	TOP FIXED-MID CASEMENT-BOTTOM FIXED SG
POWDER ROOM	2030	6.0	SINGLE HUNG-SAFETY GL
THIRD FLOOR			
MSTR BEDROOM	5046	22.5	TOP FIXED-BOTTOM SLIDER EGRESS
MSTR BEDROOM	2666	16.25	FIXED
STAIR LANDING	2868	17.77	DECK SWING DOOR-SAFETY GL
TOTAL GLAZING		126.27 SF	
OPAQUE DOOR SCHEDULE			
LOCATION	SIZE	MANUFACTURER #	REMARKS
FIRST FLOOR			
ENTRY	3068	CCVF050	THERMA-TRU FIBERGLASS

ALL WINDOWS TO MEET NFRC CERTIFICATION REQUIREMENTS	ELECTRIC
HEATING	PER SEC R402.1.1
PRESCRIPTIVE OPTION	VINYL max. 'u' = .28
WINDOWS-VERTICAL	max. 'u' = .50
WINDOWS-OVERHEAD	max. 'u' = .28
DOORS(SOLID)	
INSULATION VALUES	
ROOF- SOLID RAFTERS	REQ. R-38 MIN.
ROOF- OPEN TRUSSES	REQ. R-49 MIN.
WALLS	R-21
HEADERS	R-10
FLOOR	R-38
SLAB	R-10



FENESTRATION SCHEDULE ON SHEET A-3.1

BIKE
STORAGE
CLOSETS

AC R311.7.5 - EVERY LANDING
SHALL BE A MINIMUM OF 36" MEASURED
IN THE DIRECTION OF TRAVEL

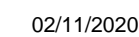
FIRST FLOOR PLAN 
BUILDING 1 1/4" = 1'-0"

SECOND FLOOR PLAN

BUILDING | 1/4" = 1'-0"

- WALL- TWO 1-HOUR RATED PARAPET WALL- SEE DETAIL 9/D-1.0

SEC R402.4.1.2 - AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR AND SHALL BE TESTED AS SUCH. A WRITTEN REPORT OF THE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.





WEST ELEVATION

BUILDING 1 1/4"=1'-0"

NO VENTILATION ALLOWED IN SOUTH PARAPET CLOSER THAN 5' TO PROPERTY LINE.

SRC TABLE 302.1 - 1-HR PARAPETS WITHIN 5' OF A PROPERTY LINE. SEE DTL 4/D-1.0

WALLS WITHIN 5' OF PROPERTY LINE REQUIRES IHR CONSTRUCTION. SEE DTL 1/SHT D-1.1

ANY WINDOW WITH AN OPENING LOCATED 12" ABOVE FINISHED GRADE AND WITHIN 24" OF THE FINISHED FLOOR OF THE ROOM IT IS LOCATED SHALL BE FIXED OR HAVE OPENINGS LESS THAN 4 INCHES.

ANY WINDOW WITH A SILL HEIGHT OF 18" OR LESS FROM FINISHED FLOOR TO BE SAFETY GLAZING

PER SRC R312.1 GUARD RAILS REQUIRED AT STAIRS, RAMPS OR LANDINGS GREATER THAN 30" ABOVE FINISHED GRADE OR FINISHED FLOOR. PER SRC R312.2 GUARD RAILS SHALL BE A MINIMUM 36" IN HEIGHT, AND PER SRC R312.3 NO OPENING IN THE GUARD RAIL SHALL HAVE AN OPENING LARGER THAN A 4" SPHERE COULD FIT THROUGH

PROVIDE PROTECTION AT THE UNDERSIDE OF THE CANTILEVER FLOOR OVER PARKING SPACES, DRIVEWAY, FIRST FLOOR AND ANY SUPPORTING WALLS OR COLUMNS AS FOLLOWS:

UNDERSIDE OF CANTILEVER - ONE LAYER OF 5/8" TYPE 'X' GYPSUM WALL BOARD OR EQUIVALENT (DTL 2/D-1.1 SIMILAR).

SUPPORTING WALLS - 1/2" GYPSUM WALL BOARD OR EQUIVALENT. COLUMNS - 1/2" GYPSUM WALL BOARD OR EQUIVALENT



SOUTH ELEVATION

BUILDING 1 1/4"=1'-0"

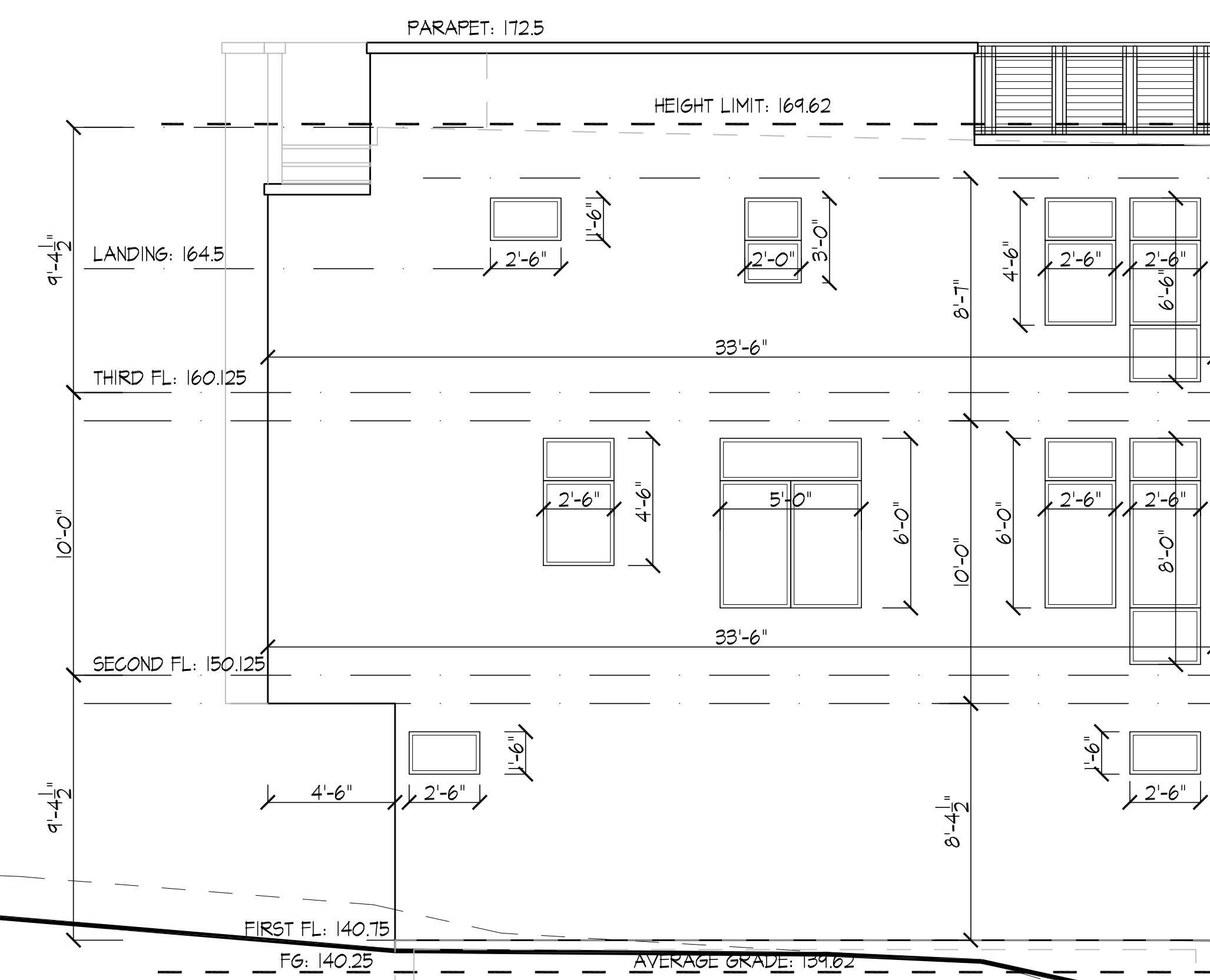
PARAPETS & OPEN RAILINGS MAY EXTEND 4' ABOVE HEIGHT LIMIT: 173.62

PER SRC TABLE 302.1 OPENINGS IN WALLS BETWEEN 3' AND 5' OF A PROPERTY LINE ARE LIMITED TO 25% OF THE WALL AREA PER STORY



EAST ELEVATION

BUILDING 1 1/4"=1'-0"



NORTH ELEVATION

BUILDING 1 1/4"=1'-0"

3RD FLOOR OPENING PERCENTAGE:
WALL AREA: 33.5'X0.503' = 207.5 SF
TOTAL OPENING AREA: 31.25 SF
OPENING PERCENTAGE: 31.25/207.5 = 12.46%

2ND FLOOR OPENING PERCENTAGE:
WALL AREA: 33.5'X10' = 335.0 SF
TOTAL OPENING AREA: 76.25 SF
OPENING PERCENTAGE: 76.25/335 = 22.76%

1ST FLOOR OPENING PERCENTAGE:
WALL AREA: 33.5'X0.315' = 280.56 SF
TOTAL OPENING AREA: 45.19 SF
OPENING PERCENTAGE: 45.19/280.56 = 16.1%

City of Seattle
Department of Planning
Development
Issued for Permit

Date: 12/2018
Scale: 1/4"=1'-0"
Drawn: Rn Sn
SDCI #: 3033303-LU & 666671-CN

A-4.2

REVISION: MUP CORR-1
DATE: 10/2019

4997
REGISTERED ARCHITECT
RODRIGO E. NOVION
STATE OF WASHINGTON

NOVION GROUP INC. ARCHITECTURE

8634B 3RD AVE NW
SEATTLE WASH 98117
PH(206)361.6133FAX361.6345

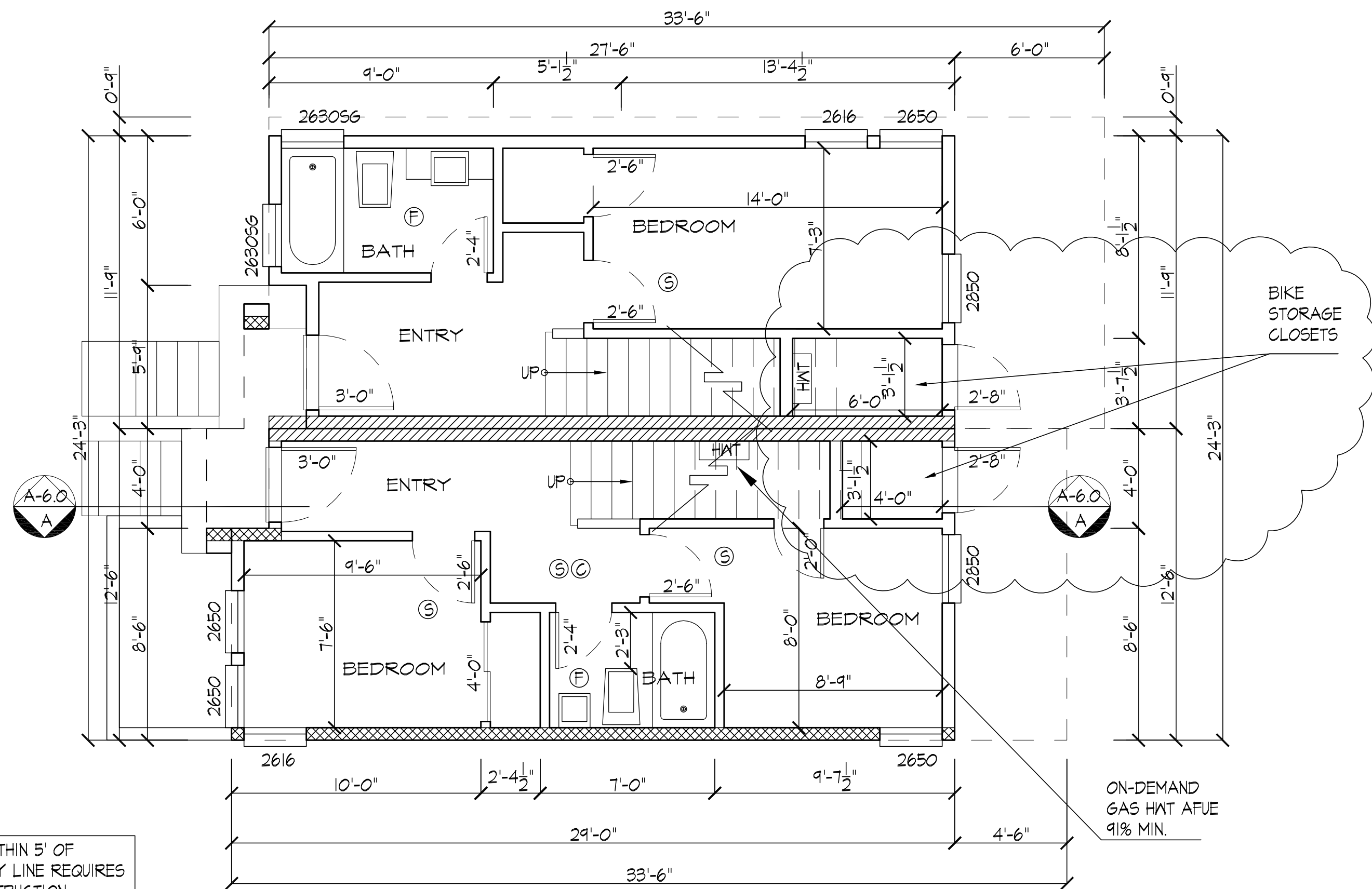
PROJECT ADDRESS

5038 SAND POINT PL. NE
SEATTLE, WA

OWNER/CLIENT

MIRN HOMES LLC
7556 12TH AVE NE
SEATTLE, WA 98115
PH: 206-985-0212

APPROVAL STAMP



WALLS WITHIN 5' OF PROPERTY LINE REQUIRES IHR CONSTRUCTION. SEE DTL 1/SHT D-1.1

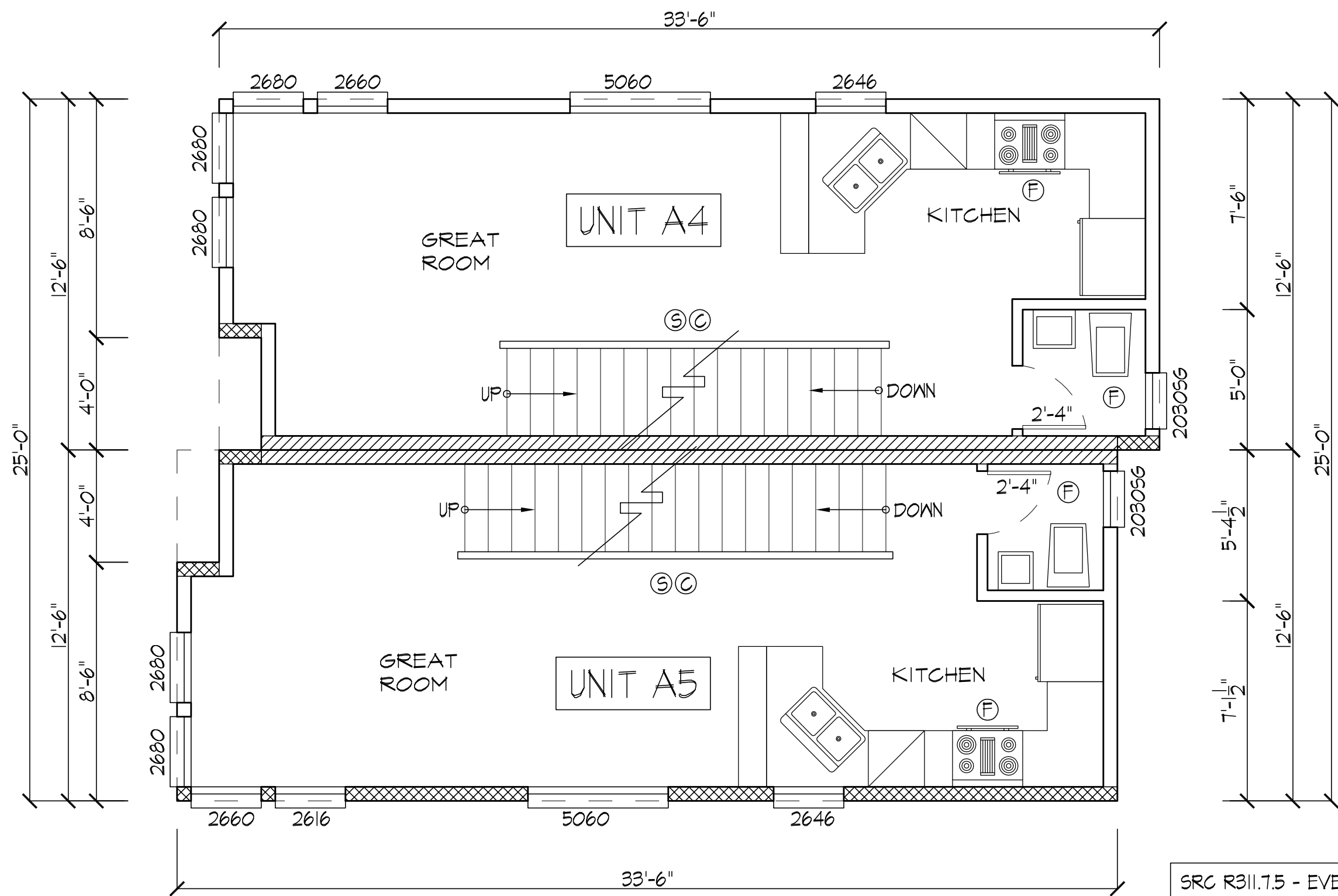
FENESTRATION SCHEDULE ON SHEET A-3.1

FIRST FLOOR PLAN

BUILDING 2

1/4"=1'-0"

PROVIDE PROTECTION AT THE UNDERSIDE OF THE CANTILEVER FLOOR OVER PARKING SPACES, DRIVEWAY, FIRST FLOOR AND ANY SUPPORTING WALLS OR COLUMNS AS FOLLOWS:
UNDERSIDE OF CANTILEVER - ONE LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD OR EQUIVALENT (DTL 2/D-1.1 SIMILAR).
SUPPORTING WALLS - 1/2" GYPSUM WALL BOARD OR EQUIVALENT.
COLUMNS - 1/4" GYPSUM WALL BOARD OR EQUIVALENT



SECOND FLOOR PRIMARY HEAT SOURCE. INSTALL AN INVERTER-DRIVEN DUCT-LESS MINI-SPLIT HEAT PUMP IN THE LARGEST ZONE IN THE SECOND FLOOR (DWELLING).

SRC R311.15 - EVERY LANDING SHALL BE A MINIMUM OF 36" MEASURED IN THE DIRECTION OF TRAVEL

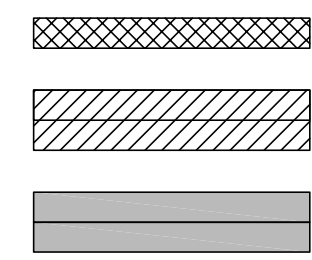
SECOND FLOOR PLAN

BUILDING 2

1/4"=1'-0"

- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE ALARM
- Ⓢ EXHAUST FAN

- Ⓢ WHOLE HOUSE FAN



110 VOLT- INTERCONNECTED-BATTERY BACKUP

COMPLY WITH UL 2034 - INSTALL PER MANUF RECOMMENDATIONS

ALL EXHAUST FANS TO COMPLY WITH SRC CHPT 15 FAN CAPABLE OF FIVE AIR CHANGES PER HOUR. VENT DIRECTLY TO EXTERIOR THROUGH SMOOTH RIGID NON ABSORBENT DUCTS. 5' MINIMUM DISTANCE FROM VENT WINDOW. KITCHEN 100 CFM MIN. INTERMITTENT OPERATION. BATHROOM 50 CFM MIN. INTERMITTENT OPERATION, EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS.

ALL VENTILATION MUST COMPLY WITH THE 2015 SEATTLE RESIDENTIAL CODE. SRC M1507.3 PRESCRIPTIVE METHOD-TABLE 1507.3.3(1). 3 BEDROOM-AND AS AMENDED BY TABLE M1507.3.3(2)-SYSTEM DESIGNED TO OPERATE CONTINUOUSLY. 45 CFM MIN. REQUIRED. PROPOSED 50 CFM PANASONIC WHISPERGREEN FV-05-11VK2. 1.0 MAX SONE RATING AT 0.1" WATER GAUGE-.03 SONES ACTUAL TESTED. INTEGRATED SYSTEM-FRESH AIR SUPPLY THROUGH WINDOW PORT. PER SRC M1507.3.4.4 EACH HABITABLE SPACE TO HAVE AT LEAST ONE WINDOW WITH A WINDOW PORT.

WALL- ONE HOUR RATED EXTERIOR WALL- SEE DETAIL 1/D-1.1

WALL- TWO HOUR RATED PARTY WALL- SEE DETAIL 3&4/D-1.1

WALL- TWO HOUR RATED PARAPET WALL- SEE DETAIL 9/D-1.0

ALL WINDOWS TO MEET NFRC CERTIFICATION REQUIREMENTS
HEATING ELECTRIC
PRESCRIPTIVE OPTION PER SEC R402.1.1
WINDOWS-VERTICAL VINYL max. "U" = .28
WINDOWS-OVERHEAD max. "U" = .50
DOORS(SOLID) max. "U" = .28
INSULATION VALUES
ROOF- SOLID RAFTERS REQ. R-38 MIN.
ROOF- OPEN TRUSSES REQ. R-49 MIN.
WALLS R-21
HEADERS R-10
FLOOR R-38
SLAB R-10

STUDS:	
EXTERIOR WALLS	2X6'S U.N.O.
INTERIOR WALL (GARAGE) TO UNHEATED	2X6'S
INTERIOR WALL - NON BEARING	2X4'S
INTERIOR WALL - PLUMBING WALL	2X6'S
INTERIOR WALL - BEARING	3X4'S @ FIRST FLOOR 2X4'S @ OTHER FLOORS

SEC R402.4.1.2 - AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR AND SHALL BE TESTED AS SUCH. A WRITTEN REPORT OF THE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.

City of Seattle
Department of Planning
Development
Issued for Permit

Issued By: 02/11/2020

Date 12/2018

Scale 1/4"=1' 0"

Drawn Rn Sn

SDCI # 3033303-LU & 6666671-CN

Sheet

A-5.0

REVISION MUP CORR-1 DATE 10/2019

4997 REGISTERED ARCHITECT
RODRIGO E. NOVION
STATE OF WASHINGTON

NOVION GROUP INC. ARCHITECTURE

8634B 3RD AVE NW
SEATTLE WASH 98117
PH(206)361.6133FAX361.6345

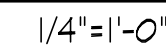
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SEATTLE, WA 98115
PH: 206-905-0212

APPROVAL STAMP



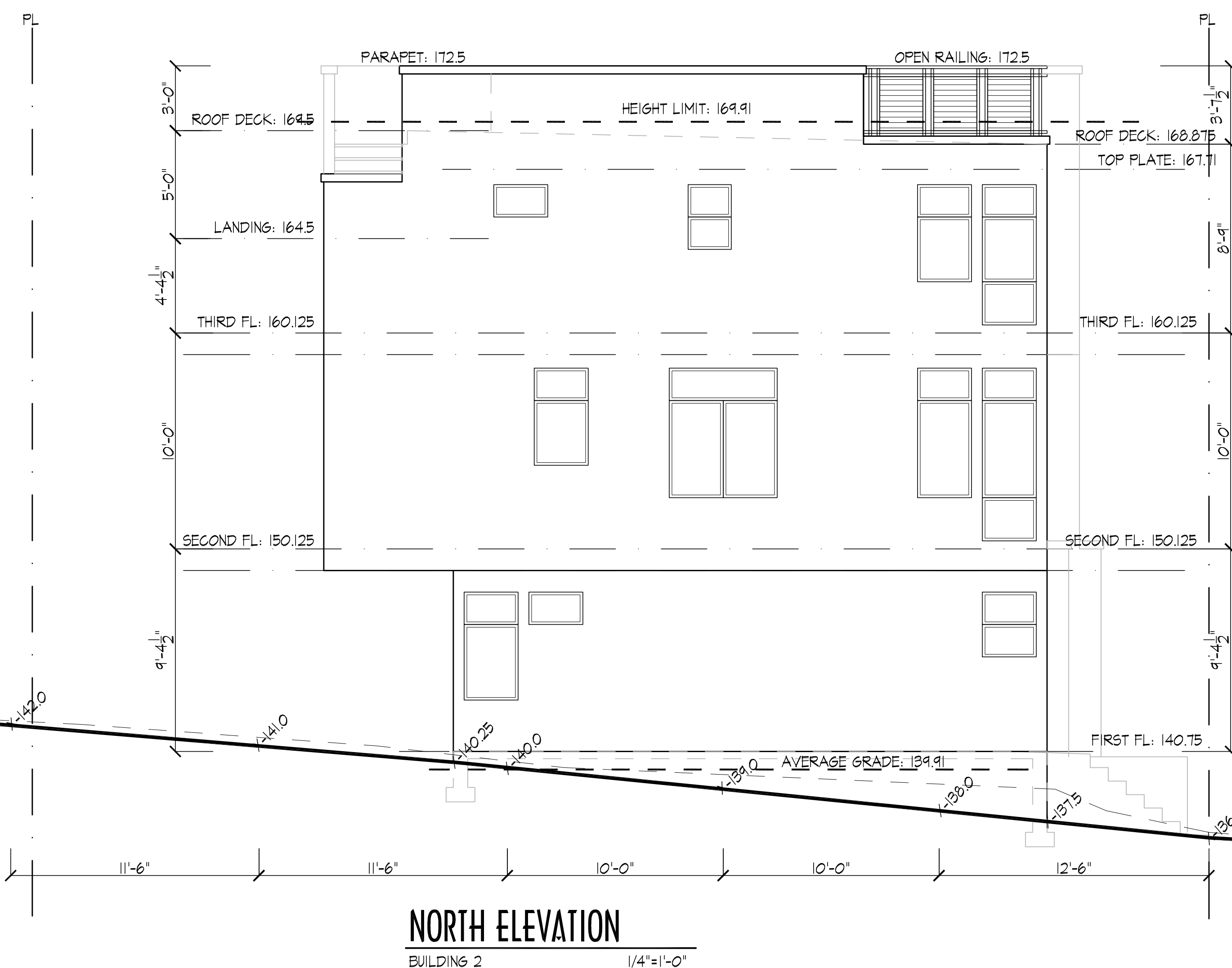
NO STORAGE OR USABLE SPACE
IS PERMITTED IN THE PENTHOUSE
ENCLOSURE BEYOND THAT
REQUIRED FOR CIRCULATION

PER APPENDIX U OF THE 2015 RESIDENTIAL
CODE, SECTION UO1.1 EXCEPTION 1, IF THE
QUALIFYING ROOF AREA IS LESS THAN 300SF,
SOLAR READY ZONES ARE NOT REQUIRED.

ALL WINDOWS TO MEET NFRC CERTIFICATION REQUIREMENTS	
HEATING	ELECTRIC
PRESCRIPTIVE OPTION	PER SEC R402.1.1
WINDOWS-VERTICAL	VINYL max. "u" = .28
WINDOWS-OVERHEAD	max. "u" = .50
DOORS(SOLID)	max. "u" = .28
INSULATION VALUES	
ROOF- SOLID RAFTERS	REQ. R-38 MIN.
ROOF- OPEN TRUSSES	REQ. R-49 MIN.
WALLS	R-21
HEADERS	R-10
FLOOR	R-38
SLAB	R-10

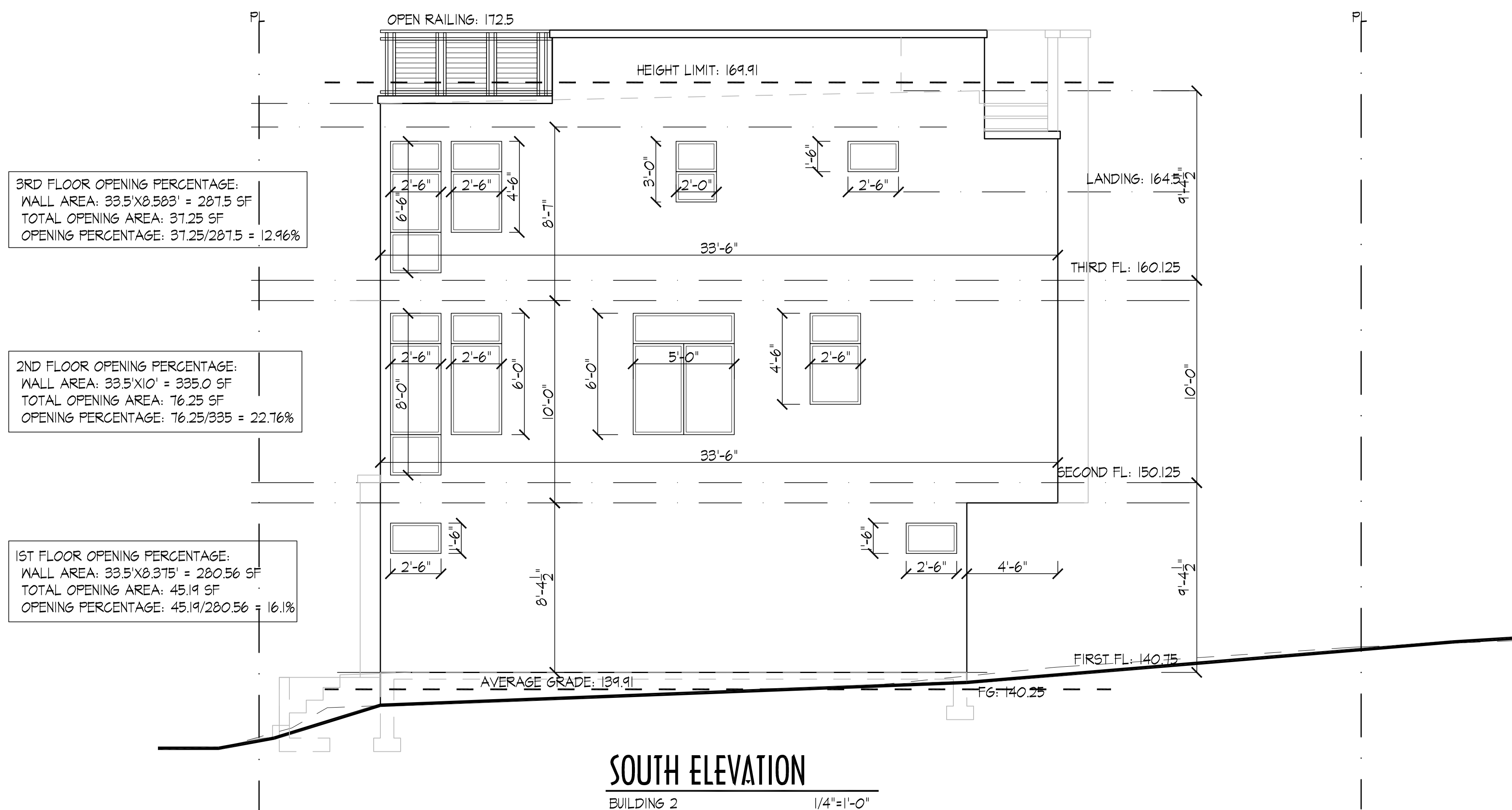
STUDS:	
EXTERIOR WALLS	2X6'S U.N.O.
INTERIOR WALL (GARAGE) TO UNHEATED	2X6'S
INTERIOR WALL - NON BEARING	2X4'S
INTERIOR WALL - PLUMBING WALL	2X6'S
INTERIOR WALL - BEARING	3X4'S @ FIRST FLOOR 2X4'S @ OTHER FLOORS

SEC R402.4.1.2 - AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR AND SHALL BE TESTED AS SUCH. A WRITTEN REPORT OF THE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.



PER SRC TABLE 302.1 OPENINGS IN
WALLS BETWEEN 3' AND 5' OF A
PROPERTY LINE ARE LIMITED TO 25% OF
THE WALL AREA PER STORY

PARAPETS & OPEN RAILINGS MAY
EXTEND 4' ABOVE HEIGHT LIMIT: 173.9



3RD FLOOR OPENING PERCENTAGE:
WALL AREA: 33.5'x8.583' = 287.5 SF
TOTAL OPENING AREA: 37.25 SF
OPENING PERCENTAGE: 37.25/287.5 = 12.96%

2ND FLOOR OPENING PERCENTAGE:
WALL AREA: 33.5'X10' = 335.0 SF
TOTAL OPENING AREA: 76.25 SF
OPENING PERCENTAGE: 76.25/335 = 22.76%

1ST FLOOR OPENING PERCENTAGE:
WALL AREA: $33.5' \times 8.375' = 280.56 \text{ SF}$
TOTAL OPENING AREA: 45.19 SF
OPENING PERCENTAGE: $45.19 / 280.56 = 16.1\%$

NO VENTILATION ALLOWED IN SOUTH PARAPET CLOSER THAN 5' TO PROPERTY LINE.

SRC TABLE 302.1 - 1-HR
PARAPETS WITHIN 5' OF A
PROPERTY LINE. SEE DTL 4/D-1.C

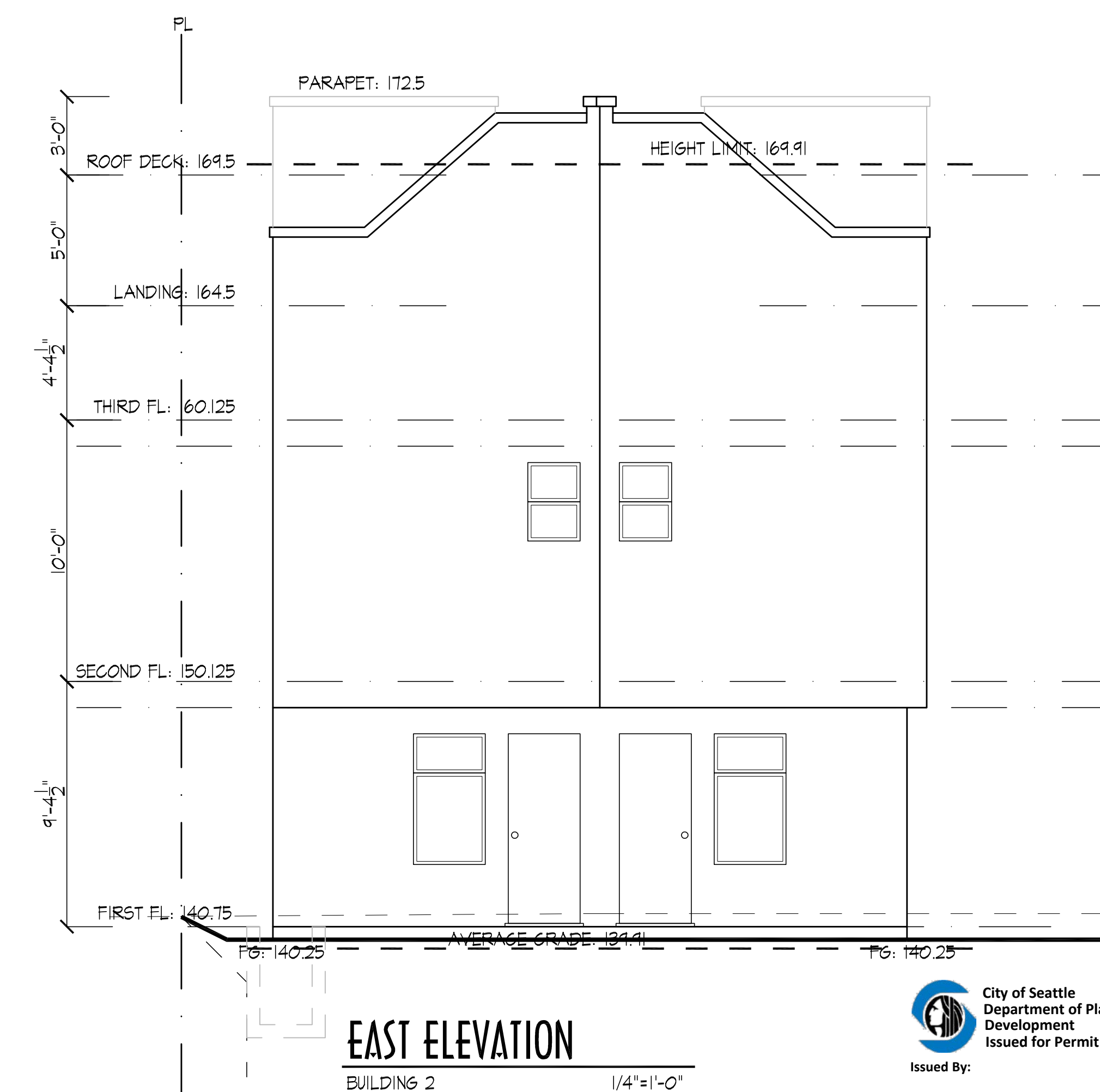
WALLS WITHIN 5' OF
PROPERTY LINE REQUIRES
IHR CONSTRUCTION.
SEE DTL 1/5HT D-1.1

ANY WINDOW WITH AN OPENING LOCATED 72" ABOVE FINISHED GRADE AND WITHIN 24" OF THE FINISHED FLOOR OF THE ROOM IT IS LOCATED SHALL BE FIXED OR HAVE OPENINGS LESS THAN 4 INCHES.

ANY WINDOW WITH A SILL HEIGHT
OF 18" OR LESS FROM FINISHED
FLOOR TO BE SAFETY GLAZING

PER SRC R312.1 GUARD RAILS
REQUIRED AT STAIRS, RAMPS OR
LANDINGS GREATER THAN 30"
ABOVE FINISHED GRADE OR
FINISHED FLOOR. PER SRC R312.2
GUARD RAILS SHALL BE A
MINIMUM 36" IN HEIGHT, AND
PER SRC R312.3 NO OPENING IN
THE GUARD RAIL SHALL HAVE AN
OPENING LARGER THAN A
4" SPHERE COULD FIT THROUGH

PROVIDE PROTECTION AT THE UNDERSIDE OF THE CANTILEVER FLOOR OVER PARKING SPACES, DRIVEWAY, FIRST FLOOR AND ANY SUPPORTING WALLS OR COLUMNS AS FOLLOWS:
UNDERSIDE OF CANTILEVER - ONE LAYER OF $\frac{3}{8}$ " TYPE "X" GYPSUM WALL BOARD OR EQUIVALENT (DTL 2/D-1J SIMILAR).
SUPPORTING WALLS - $\frac{1}{2}$ " GYPSUM WALL BOARD OR EQUIVALENT.
COLUMNS - $\frac{1}{2}$ " GYPSUM WALL BOARD OR EQUIVALENT





DESIGN STANDARDS FOR STREET FACING FACADES:

SMC 23.45.529.C.1 FACADE OPENINGS - AT LEAST 20% OF THE AREA OF EACH STREET FACING FACADE SHALL CONSIST OF WINDOWS AND/OR DOORS. WE'RE PROPOSING 25.1% OF THE STREET FACING FACADE CONSIST OF TRANSPARENT WINDOWS AND DOORS.

SMC 23.45.529.C.3.d FACADE ARTICULATION - REQUESTING FACADE ARTICULATION REQUIREMENT BE MET BASED ON SPECIAL TREATMENT OF FENESTRATION. OUR FACADE OPENING TOTAL IS OVER 25% OF THE STREET FACING FACADE.

SMC 23.45.529.E.1 PEDESTRIAN ENTRY - EACH UNIT WILL HAVE A PEDESTRIAN ENTRY ON THE STREET FACING FACADE.

SMC 23.45.529.E.2 FRONT SETBACK - LANDSCAPING PROPOSED BETWEEN THE STREET AND THE ROWHOUSE UNITS (REFER TO LANDSCAPE PLANS FOR MORE DETAIL)

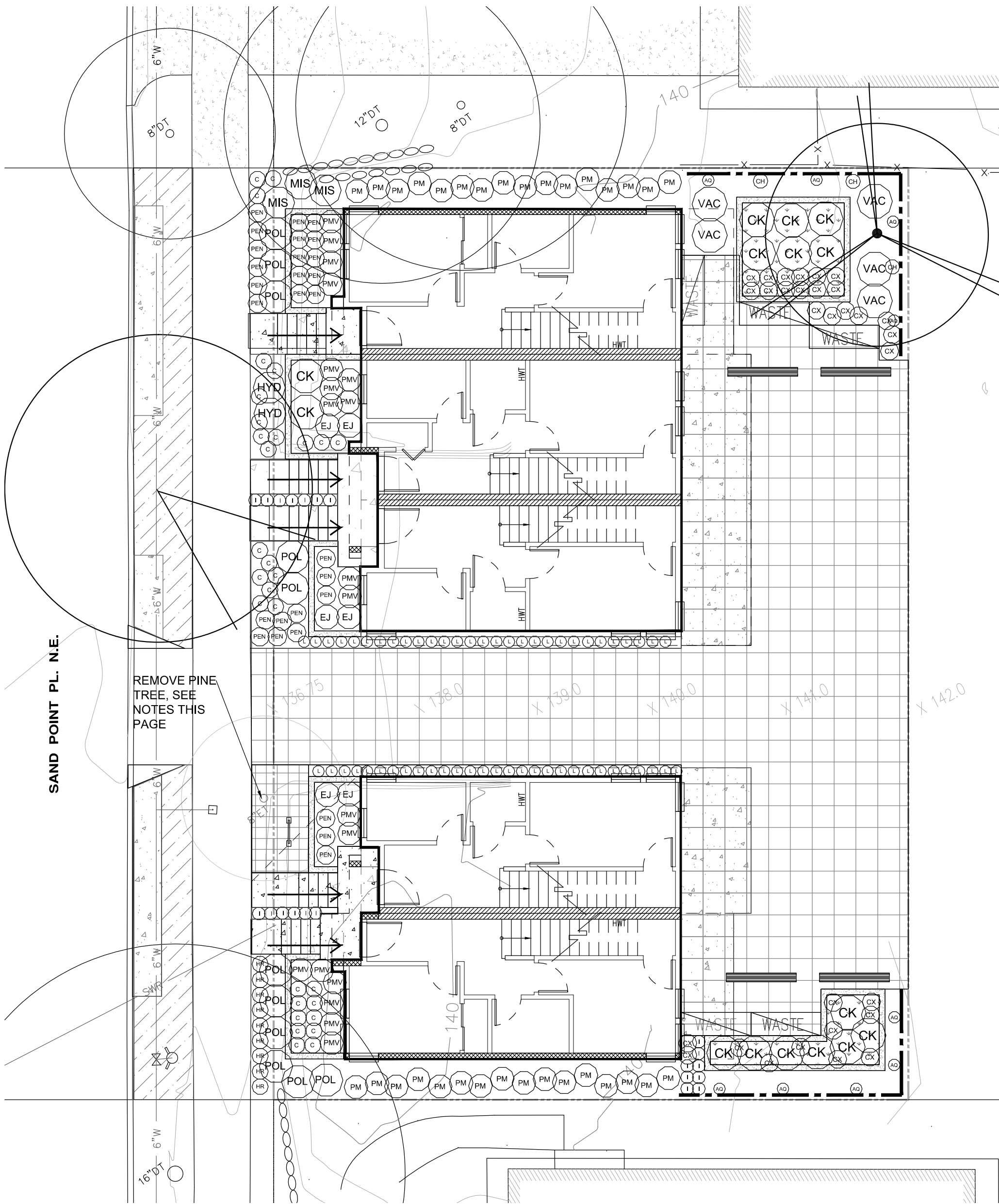
SMC 23.45.529.E.3 ARCHITECTURAL EXPRESSION - UNITS INDIVIDUALLY IDENTIFIED BY A TRANSITION IN MATERIAL AND MODULATION OF ARCHITECTURAL FEATURES.

DESIGN STANDARDS FOR THE STREET FACING FACADES:

STREET FACING FACADE TOTAL (BOTH BUILDINGS) -	1,811.875 SF
SMC 23.45.529.C.1 FACADE OPENINGS:	
TOTAL TRANSPARENT GLASS (BOTH BUILDINGS) -	466.25 SF
FACADE OPENING CALCULATION -	$466.25 / 1,811.875 = 25.1\%$

REVISION	DATE
MUP CORR-1	SN 10/2019
NOVION GROUP INC. ARCHITECTURE	
8634B 3RD AVE NW SEATTLE WASH 98117 PH(206)361.6133/FAX361.6345 PROJECT ADDRESS	
5038 SAND POINT PL. NE SEATTLE, WA	
OWNER/CLIENT	
MRN HOMES LLC 7556 12TH AVE NE SEATTLE, WA 98115 PH: 206-985-0212	
APPROVAL STAMP	
Date	12/2018
Scale	1/4"=1' 0"
Drawn	Rn Sn
SDCI #	3033203-LU & 6666671-CN
Sheet	A-5.3

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LANDSCAPE PLANS

1

1/8" = 1'-0"

0 4 8 16



1 PLANT SCHEDULE

QUANT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	NYSSA SYLVATICA 'HAYMANRED'	RED RAGE TUPELO	1.5" CAL	
1	QUERCUS COCCINEA STREET TREE FORM	SCARLET OAK	2.0" CAL	
30 #	CALLUNA VULGARIS 'SPRING TORCH'	SPRING TORCH HEATHER	1 GAL	
30 #	CAREX ICE DANCE	ICE DANCE SEDGE	1 GAL	
★ 15 #	CORNUS KEYSYII	DWARF REDTWIG DOGWOOD	2 GAL	
★ 6 #	EUONYMUS JAPONICUS 'GREEN SPIRE'	'GREEN SPIRE' EUONYMUS	2 GAL	
9 #	HEMEROCALIS HAPPY RETURNS	DAY LILY HAPPY RETURNS	1 GAL	
★ 2 #	HYDRANGEA QUERCIFOLIA PEE WEE	DWARF OAKLEAF HYDRANGEA	2 GAL	
★ 21 #	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	2 GAL	
58 #	LIRIOPE SILVERY SUNPROOF	SILVERY SUNPROOF MONDO GRASS	1 GAL	
★ 3 #	MISCANTHUS YAKU JIMA	SEMI DWARF MAIDEN GRASS	2 GAL	
28 #	PENNISETUM 'LITTLE BUNNY'	DWARF FOUNTAIN GRASS	1 GAL	
★ 32 #	POLYSTICHUM MUNITUM	SWORD FERN	1 GAL	
19 #	PRUNUS 'MT VERNON'	MT VERNON LAUREL	1 GAL	
★ 11 #	PRUNUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	2 GAL	
★ 5 #	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	
VINES				
9	AKEBIA QUINATA	FIVE LEAF AKEBIA	2 GAL	
3	CLEMATIS HENRYII	WHITE FLOWERING CLEMATIS	2 GAL	
60 #	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	KINNIKINNICK MASSACHUSETTS	1 GAL	24" O.C.

FOR EACH HATCH AREA PROVIDE AMOUNT OF PLANTINGS LISTED ADJACENT TO HATCH
★ SHRUB WITH A MATURE HEIGHT OF 24" OR GREATER, (FOR GREEN FACTOR CALCULATIONS)

PLANT SHRUBS AND GROUNDCOVERS A MINIMUM OF 18" FROM PAVED SURFACES

DROUGHT TOLERANT SHRUB OR GROUNDCOVER, ONCE ESTABLISHED, NOTE SOME SPECIES ARE DRAUGHT TOLERANT WHEN GROWN IN SHADE AS THEY ARE ON THIS PLAN

SEE ARCHITECTURAL PLANS FOR ALL RAILS AND RAILINGS
COORDINATE ALL WORK WITH ARCHITECTURAL AND CIVIL DRAWINGS.

COORDINATE TREE LOCATIONS WITH UTILITY PLANS. TREES MUST BE 5' MINIMUM HORIZONTAL DISTANCE FROM UNDERGROUND UTILITIES. COORDINATE WITH OWNER AND LANDSCAPE ARCHITECT IF TREES NEED TO BE LOCATED SUBSTANTIAL DIFFERENT FROM LOCATIONS AS SHOWN ON PLANS.

CONTACT SDOT URBAN FORESTRY (206-684-5693) TO COORDINATE STREET TREE SELECTION, AS WELL AS ANY OTHER WORK IN THE RIGHT OF WAY **BEFORE** WORK COMMENCES ON-SITE. ALSO CONTACT URBAN FORESTRY FOR INSPECTION AND APPROVAL OF NEW STREET TREES. STREET TREE VARIETY APPROVED BY BEN ROBERTS 12-12-2018

REMOVE EXISTING 8" CALIPER PINE TREE ADJACENT TO SIDEWALK, TREE REMOVAL REQUIRES A SEPARATE SDOT PERMIT AND THE TREES NEED TO BE POSTED WITH A REMOVAL NOTICE FOR A MINIMUM OF 14-DAYS BEFORE THE PERMIT CAN BE ISSUED. CONTACT BEN ROBERTS, SDOT URBAN FORESTRY.

PERVIOUS PAVING, WITH A TOTAL OF OVER 24" OF GRAVEL AND SOIL BENEATH, MUST MEET SEATTLE PUBLIC UTILITIES DEFINITION OF PERMEABLE PAVING

CONCRETE PAVING OR PAVERS UNDER OVERHANG, NOT COUNTED IN GREEN FACTOR

--- GREEN SCREEN METAL LATTICE, SEE GREEN FACTOR EXHIBIT SHEETS FOR WIDTH BY HEIGHT DIMENSIONS

GREEN SCREEN CAN ALSO BE A WOOD FRAME FENCE WITH GALVANIZED OR POWDER COATED METAL MESH SUCH AS WILDHOG AVAILABLE AT DUNN LUMBER OR MESH PANELS FROM ALL CITY FENCE. MESH MUST BE HEAVY DUTY, AND NOT CONCRETE REINFORCING MESH.

ALL PLANTINGS AND LANDSCAPE ELEMENTS REQUIRED AS PART OF THIS BUILDING PERMIT MUST BE MAINTAINED FOR THE LIFE OF THE PROJECT. IF ALTERATIONS OR FAILURES REDUCE LANDSCAPE FEATURES TO A LEVEL BELOW THE MINIMUM REQUIRED PLANTING AREA OR GREEN FACTOR SCORE, NEW FEATURES MUST BE ADDED TO COMPENSATE. THIS REQUIREMENT ALSO APPLIES TO LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY.

SEE ARCHITECTURAL PLANS FOR AMENITY SPACE CALCULATIONS

REVISIONS

BY

19-18-2019

This landscape plan is diagrammatic, all dimensions are approximate and must be field verified.

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gha

GH Landscape Architects
1417 NE 80th St.
SEATTLE, WA 98115
TELE 206.522.2334 FAX 206.526.5667

APPROVAL

PROJECT AT
5038 Sand Point PI NE, SEATTLE WA
LANDSCAPE PLAN

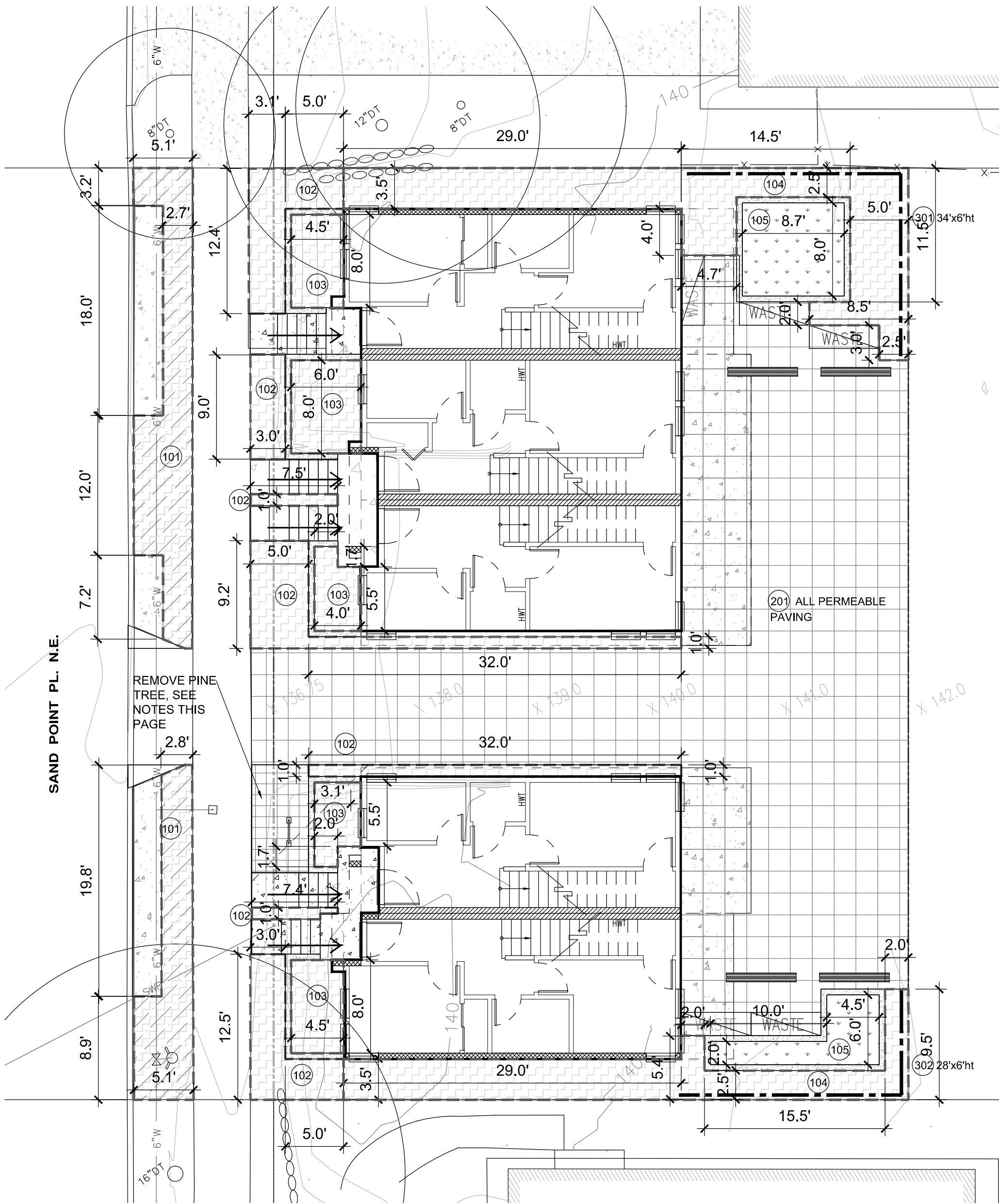
STATE OF
WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Neil Buchanan
CERTIFICATE No. 513

DATE: 12-5-2018
SCALE: ON PLAN
DRAWN BY: NB
JOB:
SHEET:

L1.0

1 of 3 SHEETS

MUP SUBMITTAL, REVISION #1



GREEN FACTOR EXHIBIT

1/8" = 1'-0"

Green Factor Worksheet*

		Planting Area					Permeable Paving				Green Screen			TOTAL**
		101	102	103	104	105	201				301	302		
A1	square feet													0
A2	square feet	240	263	171	414									1088
A3	square feet					117								117
B1	square feet	240	263	171	414	117								1205
B2	# of plants	0	29	8	45	13								95
B3	# of trees													0
B4	# of trees													0
B5	# of trees				1									1
B6	# of trees	1												1
B7	# of trees													0
C1	square feet													0
C2	square feet													0
D	square feet										204	168		372
E	square feet													0
F1	square feet													0
F2	square feet						1252							1252
G	square feet													0
H1	square feet	240	263	171	414									1088
H2	square feet													0
H3	square feet	590	611	267										1468
H4	square feet													0

* See Green Factor score sheet for category definitions
** Enter totals on the Green Factor score sheet

Green Factor Score Sheet

Project title: 5038 Sand Point PI NE, LR zone, 0.6 minimum green factor

enter sq ft of parcel: 4,360

Parcel size (enter this value first): 4,360

SCORE: 0.600

Landscape Elements**	Totals from GF worksheet	Factor	Total	
A Landscaped areas (select one of the following for each area)				
1 Landscaped areas with a soil depth of less than 24"	enter sq ft	0.1	-	
2 Landscaped areas with a soil depth of 24" or greater	enter sq ft: 1088	0.6	652.8	
3 Bioretention facilities	enter sq ft: 117	1.0	117.0	
B Plantings (credit for plants in landscaped areas from Section A)				
1 Mulch, ground covers, or other plants less than 2' tall at maturity	enter sq ft: 1205	0.1	121	
2 Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants: 95	1140	0.3	342
3 Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants: 0	0.3	-	
4 Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants: 0	0.3	-	
5 Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants: 1	250	0.4	100.0
6 Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants: 1	350	0.4	140.0
7 Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH: 0	0.8	-	
C Green roofs				
1 Over at least 2" and less than 4" of growth medium	enter sq ft	0.4	-	
2 Over at least 4" of growth medium	enter sq ft	0.7	-	
D Vegetated walls				
1	enter sq ft: 372	0.7	260.4	
E Approved water features				
F Permeable paving				
1 Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft	0.2	-	
2 Permeable paving over at least 24" of soil or gravel	enter sq ft: 1252	0.5	626.0	
G Structural soil systems				
	enter sq ft	0.2	-	
H Bonuses	sub-total of sq ft = 5,774			
1 Drought-tolerant or native plant species	enter sq ft: 1088	0.1	108.8	
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft	0.2	-	
3 Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft: 1,468	0.1	147	
4 Landscaping in food cultivation	enter sq ft: 0	0.1	-	
	Green Factor numerator = 2,614			

* Do not count public rights-of-way in parcel size calculation.
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

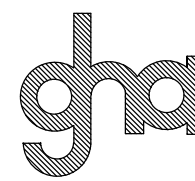
City of Seattle
Department of Planning
Development
Issued for Permit
Issued By: 02/11/2020

REVISIONS BY

1 9-18-2019

This landscape plan is diagrammatic, all dimensions are approximate and must be field verified.

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1417 NE 80th St.
SEATTLE, WA 98115
TEL 206.522.2334 FAX 206.526.5667

APPROVAL

PROJECT AT
5038 Sand Point PI NE, SEATTLE WA
GREEN FACTOR EXHIBIT



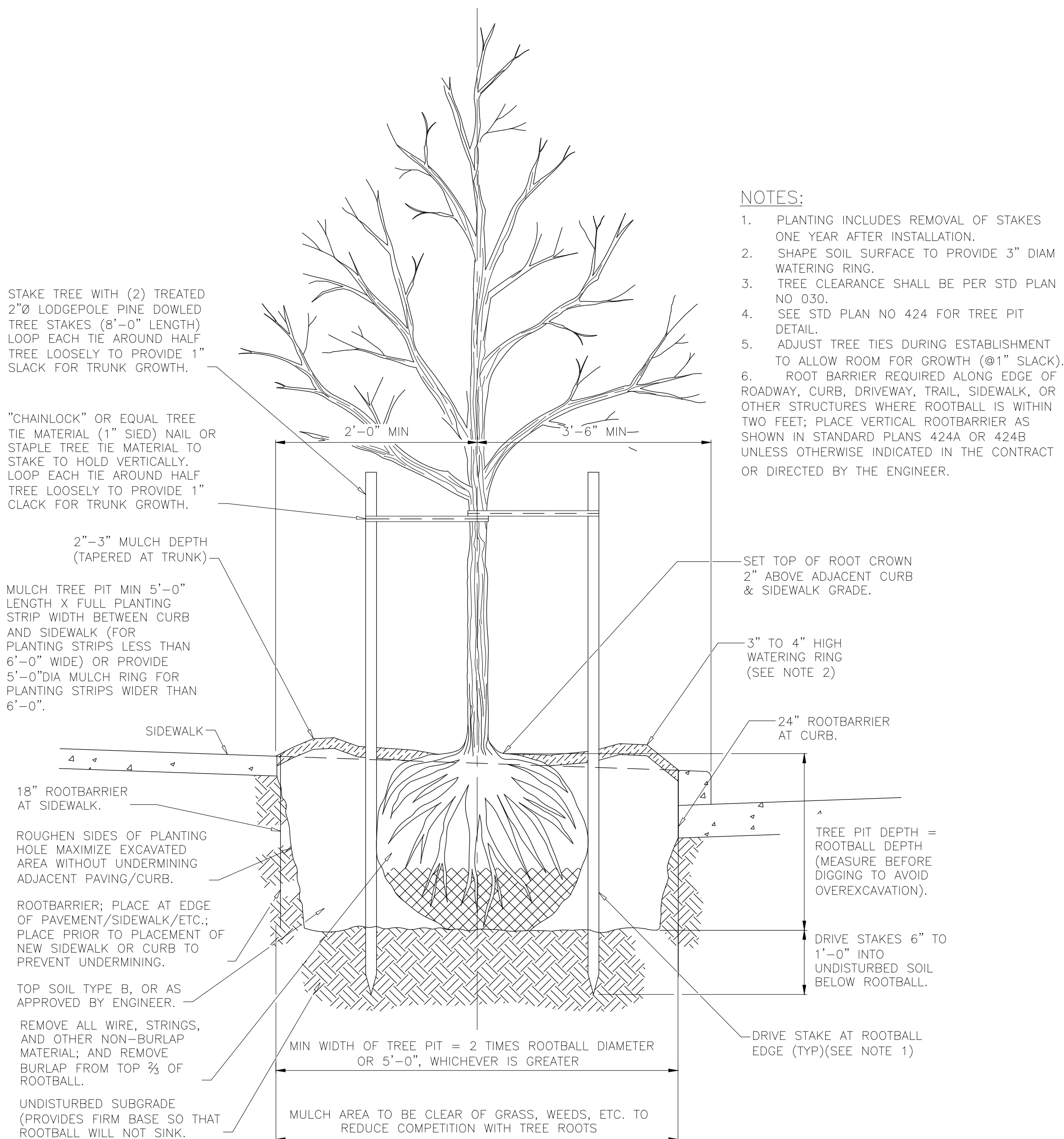
DATE: 12-5-2018
SCALE: ON PLAN
DRAWN BY: NB
JOB: SHEET:

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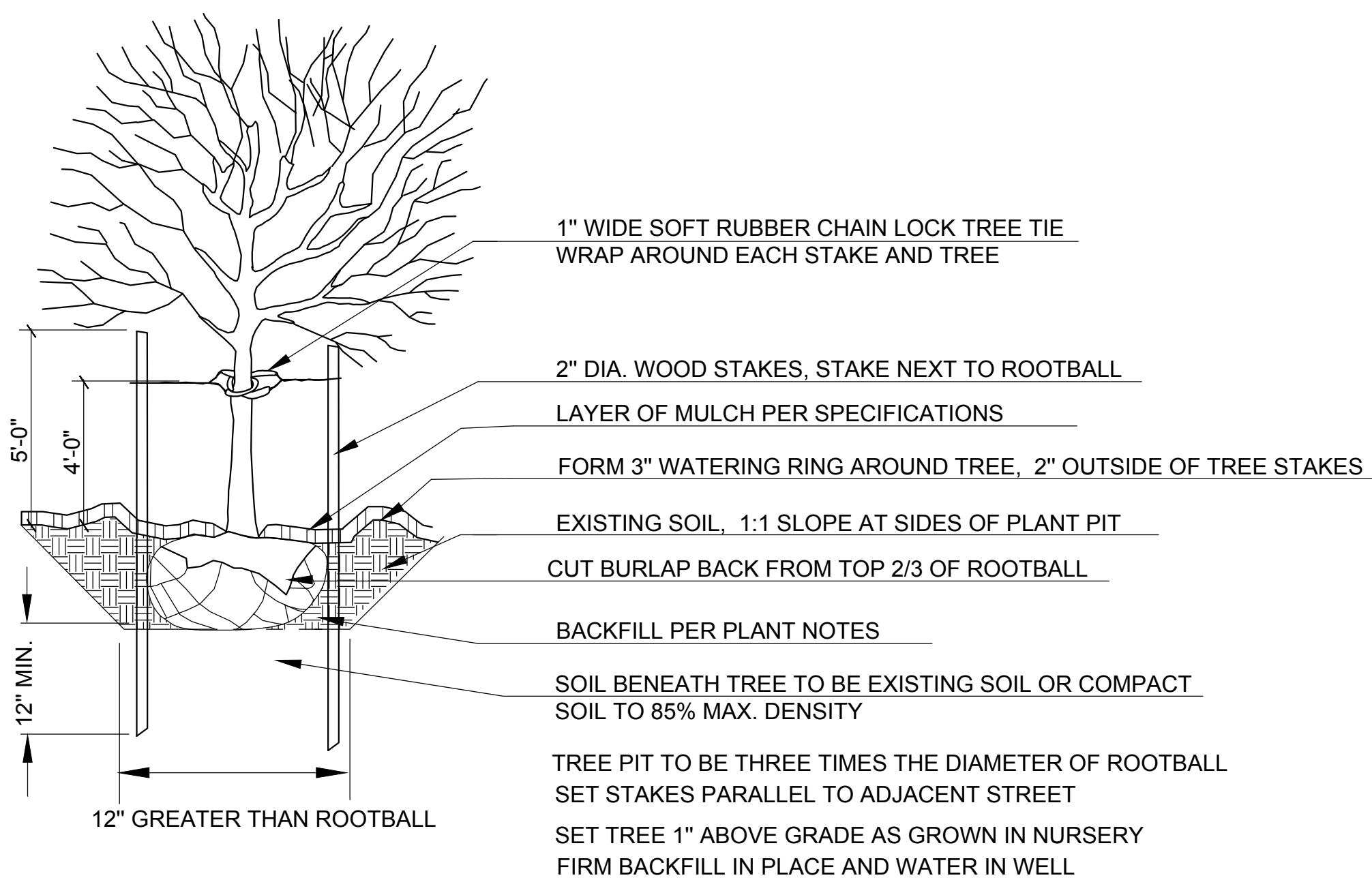
2 of 3 SHEETS

MUP SUBMITTAL, REVISION #1

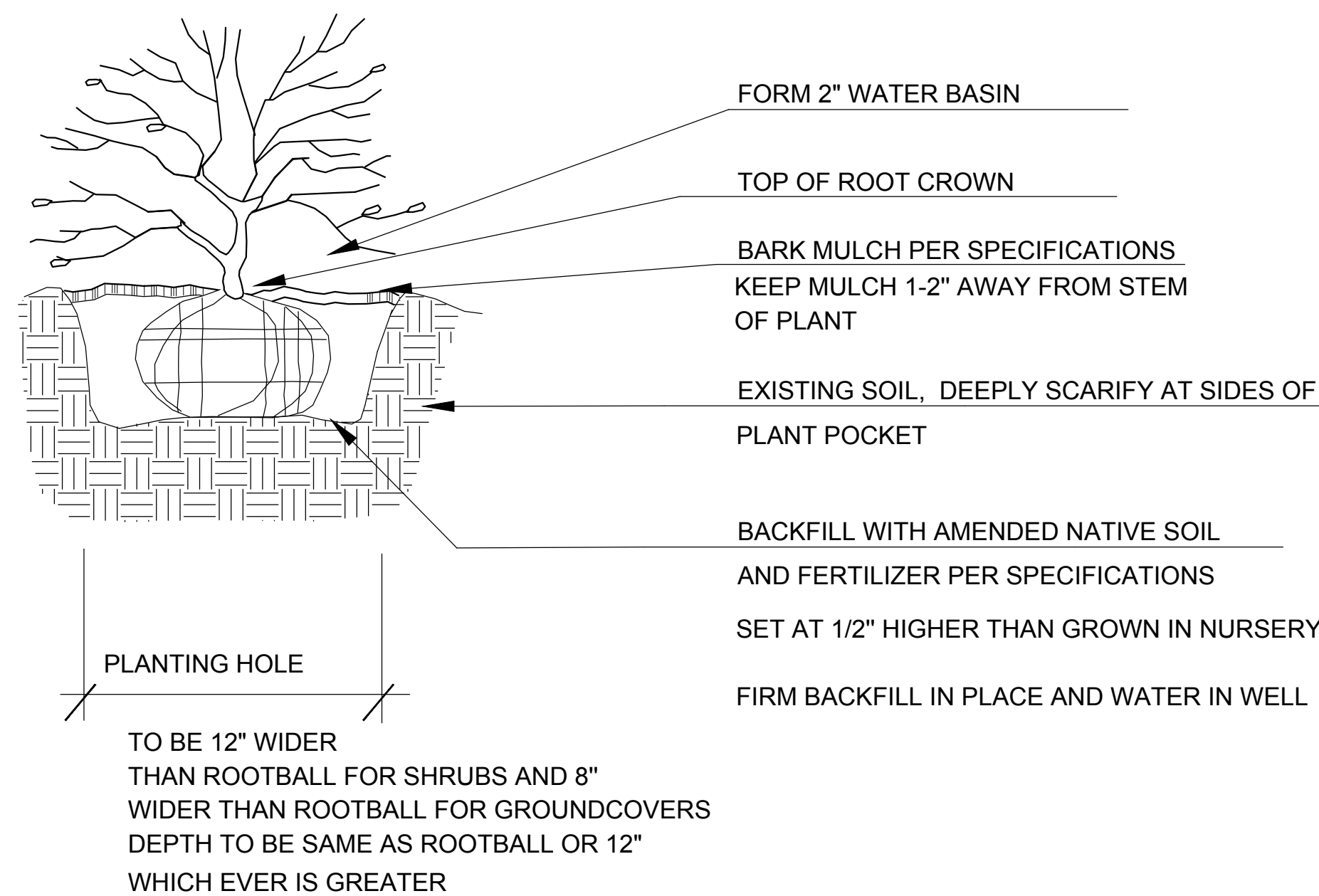
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SDOT STREET TREE PLANTING DETAIL #100A



1 TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL

LANDSCAPE CONSTRUCTION NOTES

Contractor shall familiarize themselves with the project including all underground utilities.

Subgrade for shrub areas to be 8" below finished grade to allow for topsoil and mulch. Subgrade for lawn areas to be 4" below finished grade to allow for topsoil. Beds to be weed and debris free. Till/loosen/excavate existing soil to depth of 10". Add 2.5" of 50/50 Cedar Grove compost/sand mix to shrub areas. Till into 8" of existing soil. Add 3.5" of 50/50 Cedar Grove compost/sand mix to shrub and lawn areas. Till into 8" of soil. Compact soil to 80% to prevent settling. Coordinate soil level in lawn areas with thickness of sod.

Notify owner if existing soil conditions will prove detrimental to plant health, even after soil prep, such as excessive clay soil, hardpan soil, poor drainage, or excessive gravel.

If project includes creating planting areas where pavement or a driveway is located, over excavate so that all underlying gravel base is removed. Add sandy loam soil in 8" lifts and compact to 85% if necessary to build up area to subgrade depth specified above. Then follow soil prep. instructions above.

For bioretention planters, bottom of cell is to be 50"+/-, (see architectura/civil plans) below concrete edge of cell. This is to allow for 18" of clean aggregate, filter fabric, 18" of soil, 2" of mulch, 6" of detention, and 6" of free board. Soil for bioretention cell to be Cedar Grove Bioretention Soil Mix or approved equal. Place in 6" lifts compacted to 80% to prevent settling. See also City of Seattle CAM 536 "Bioretention Planters".

Plant trees and shrubs per details this sheet. Mulch beds at with 2" of medium fine Fir bark.

Mulch is to be free of garbage and weeds and may not contain excessive resin, tannin, or other material detrimental to plant growth.

Gently loosen roots of container stock that is rootbound prior to planting.

Fertilize all plants with best-Paks fertilizer, available at Horizon Inc. 425-828-4554.

One packet per 1 gallon plant, 2 per 2 gallon, 3 per 5 gallon, and 12 per tree. Evenly space packets around rootball, 6-8" from soil surface.

All plants shall conform to America standard for nursery stock, ANLA.

All plants shall be considered very good or better in health and form based on industry standards.

Provide one year warranty for all work starting form date of final acceptance.

Coordinate all work with General Contractor.

Owner is responsible for providing watering through at least the two growing seasons.



City of Seattle
Department of Planning
Development
Issued for Permit

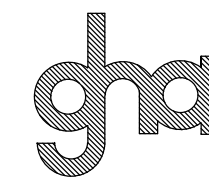
02/11/2020

REVISIONS BY

1 9-18-2019

This landscape plan is diagrammatic, all dimensions are approximate and must be field verified.

© GH A Landscape Architects 2018



GH A Landscape Architects
1417 NE 80th St.
SEATTLE, WA 98115
TELE 206.522.2334 FAX 206.526.5667

APPROVAL

PROJECT AT
5038 Sand Point PI NE, SEATTLE WA
PLANTING NOTES AND DETAILS



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Neil Buchanan
CERTIFICATE No. 513

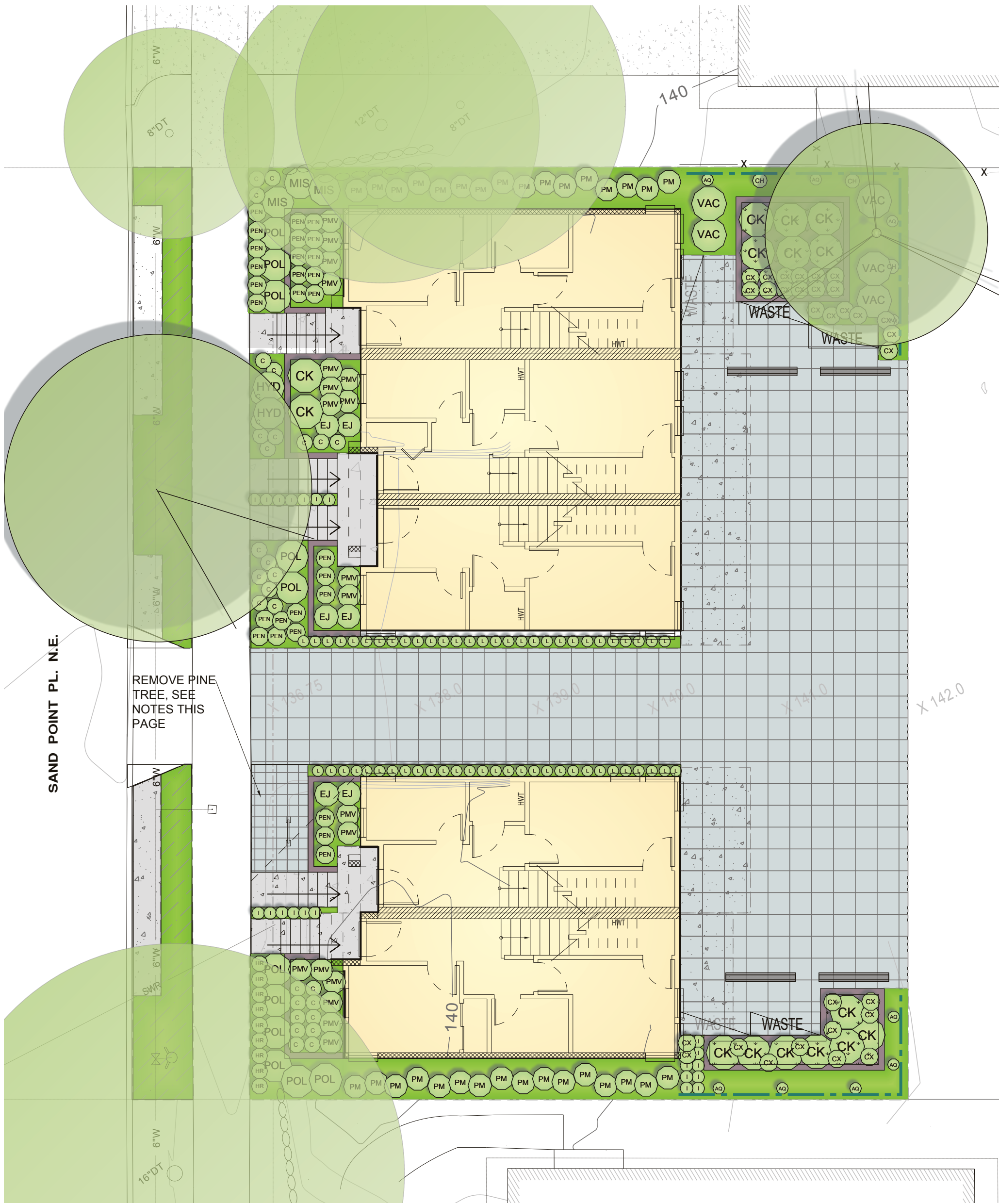
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SCALE: ON PLAN
DRAWN BY: NB
JOB:
SHEET:

L1.2

3 of 3 SHEETS

MUP SUBMITTAL, REVISION #1

ID - C:\DWG\COMMERCIAL\Novion 9-2018\5038 Sand Point Place NE\5038 Sand Point PL NE - LANDSCAPE.dwg - Wed, 18 Sep 2019 - 13:01



LANDSCAPE PLANS

1/8" = 1'-0"

1 PLANT SCHEDULE

QUANT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	NYSSA SYLVATICA 'HAYMANRED'	RED RAGE TUPELO	1.5" CAL	
1	QUERCUS COCCINEA STREET TREE FORM	SCARLET OAK	2.0" CAL	
30 #	CALLUNA VULGARIS 'SPRING TORCH'	SPRING TORCH HEATHER	1 GAL	
30 #	CAREX ICE DANCE	ICE DANCE SEDGE	1 GAL	
* 15 #	CORNUS KEYSYII	DWARF REDTWIG DOGWOOD	2 GAL	
* 6 #	EUONYMUS JAPONICUS 'GREEN SPIRE'	'GREEN SPIRE' EUONYMUS	2 GAL	
9 #	HEMEROCALIS HAPPY RETURNS	DAY LILY HAPPY RETURNS	1 GAL	
* 2 #	HYDRANGEA QUERCIFOLIA PEE WEE	DWARF OAKLEAF HYDRANGEA	2 GAL	
* 21 #	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	2 GAL	
58 #	LIRIOPE SILVERY SUNPROOF	SILVERY SUNPROOF MONDO GRASS	1 GAL	
* 3 #	MISCANTHUS YAKU JIMA	SEMI DWARF MAIDEN GRASS	2 GAL	
28 #	PENNISETUM 'LITTLE BUNNY'	DWARF FOUNTAIN GRASS	1 GAL	
* 32 #	POLYSTICHUM MUNITUM	SWORD FERN	1 GAL	
19 #	PRUNUS 'MT VERNON'	MT VERNON LAUREL	1 GAL	
* 11 #	PRUNUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	2 GAL	
* 5 #	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL	
VINES				
9	AKEBIA QUINATA	FIVE LEAF AKEBIA	2 GAL	
3	CLEMATIS HENRYII	WHITE FLOWERING CLEMATIS	2 GAL	
60 #	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	KINNIKINNICK MASSACHUSETTS	1 GAL	24" O.C.

FOR EACH HATCH AREA PROVIDE AMOUNT OF PLANTINGS LISTED ADJACENT TO HATCH
* SHRUB WITH A MATURE HEIGHT OF 24" OR GREATER, (FOR GREEN FACTOR CALCULATIONS)

PLANT SHRUBS AND GROUNDCOVERS A MINIMUM OF 18" FROM PAVED SURFACES

DROUGHT TOLERANT SHRUB OR GROUNDCOVER, ONCE ESTABLISHED, NOTE SOME SPECIES ARE DRAUGHT TOLERANT WHEN GROWN IN SHADE AS THEY ARE ON THIS PLAN

SEE ARCHITECTURAL PLANS FOR ALL RAILS AND RAILINGS
COORDINATE ALL WORK WITH ARCHITECTURAL AND CIVIL DRAWINGS.

COORDINATE TREE LOCATIONS WITH UTILITY PLANS. TREES MUST BE 5' MINIMUM HORIZONTAL DISTANCE FROM UNDERGROUND UTILITIES. COORDINATE WITH OWNER AND LANDSCAPE ARCHITECT IF TREES NEED TO BE LOCATED SUBSTANTIAL DIFFERENT FROM LOCATIONS AS SHOWN ON PLANS.

CONTACT SDOT URBAN FORESTRY (206-684-5693) TO COORDINATE STREET TREE SELECTION, AS WELL AS ANY OTHER WORK IN THE RIGHT OF WAY **BEFORE** WORK COMMENCES ON-SITE. ALSO CONTACT URBAN FORESTRY FOR INSPECTION AND APPROVAL OF NEW STREET TREES. STREET TREE VARIETY APPROVED BY BEN ROBERTS 12-12-2018

REMOVE EXISTING 8" CALIPER PINE TREE ADJACENT TO SIDEWALK, TREE REMOVAL REQUIRES A SEPARATE SDOT PERMIT AND THE TREES NEED TO BE POSTED WITH A REMOVAL NOTICE FOR A MINIMUM OF 14-DAYS BEFORE THE PERMIT CAN BE ISSUED. CONTACT BEN ROBERTS, SDOT URBAN FORESTRY.

PERVIOUS PAVING, WITH A TOTAL OF OVER 24" OF GRAVEL AND SOIL BENEATH, MUST MEET SEATTLE PUBLIC UTILITIES DEFINITION OF PERMEABLE PAVING

CONCRETE PAVING OR PAVERS UNDER OVERHANG, NOT COUNTED IN GREEN FACTOR

GREEN SCREEN METAL LATTICE, SEE GREEN FACTOR EXHIBIT SHEETS FOR WIDTH BY HEIGHT DIMENSIONS

GREEN SCREEN CAN ALSO BE A WOOD FRAME FENCE WITH GALVANIZED OR POWDER COATED METAL MESH SUCH AS WILDHOG AVAILABLE AT DUNN LUMBER OR MESH PANELS FROM ALL CITY FENCE. MESH MUST BE HEAVY DUTY, AND NOT CONCRETE REINFORCING MESH.

ALL PLANTINGS AND LANDSCAPE ELEMENTS REQUIRED AS PART OF THIS BUILDING PERMIT MUST BE MAINTAINED FOR THE LIFE OF THE PROJECT. IF ALTERATIONS OR FAILURES REDUCE LANDSCAPE FEATURES TO A LEVEL BELOW THE MINIMUM REQUIRED PLANTING AREA OR GREEN FACTOR SCORE, NEW FEATURES MUST BE ADDED TO COMPENSATE. THIS REQUIREMENT ALSO APPLIES TO LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY.

SEE ARCHITECTURAL PLANS FOR AMENITY SPACE CALCULATIONS

REVISIONS

BY

19-18-2019

This landscape plan is diagrammatic, all dimensions are approximate and must be field verified.

GHA Landscape Architects 2018

gha

GHA Landscape Architects
1417 NE 80th St.
SEATTLE, WA 98115
TELE 206.522.2334 FAX 206.526.5667

APPROVAL

PROJECT AT

5038 Sand Point PI NE, SEATTLE WA

LANDSCAPE PLAN

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
NEIL BUCHANAN
CERTIFICATE NO. 513

DATE: 12-5-2018

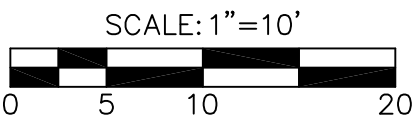
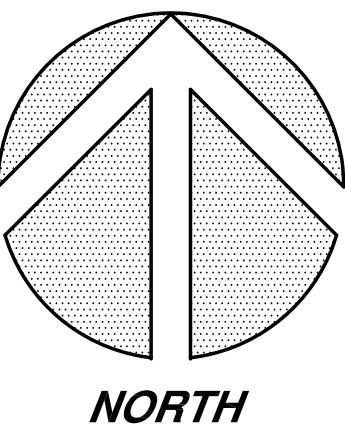
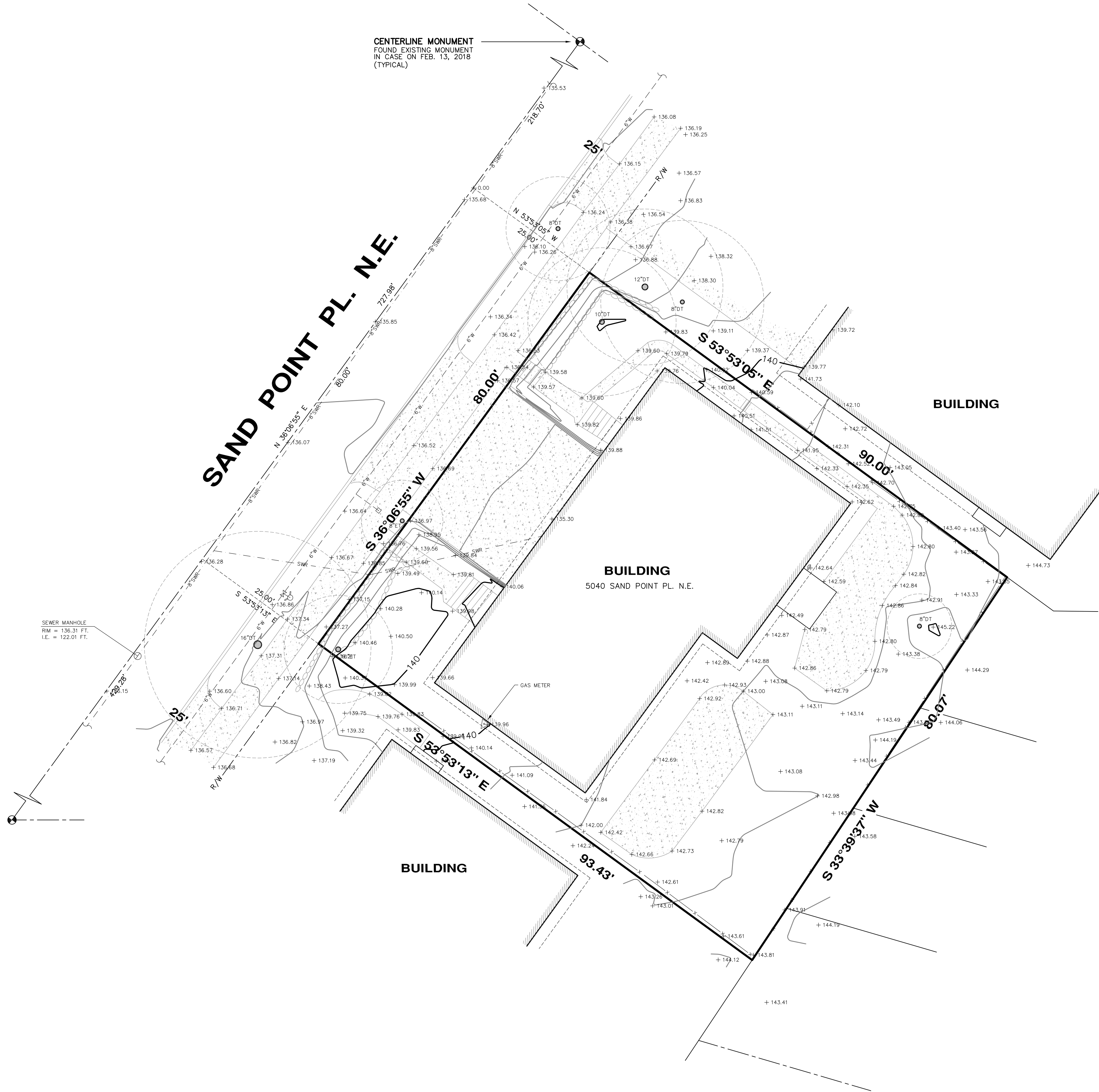
SCALE: ON PLAN

DRAWN BY: NB

JOB: L1.0DR

SHEET: 1 of 3 SHEETS

MUP SUBMITTAL, REVISION #1



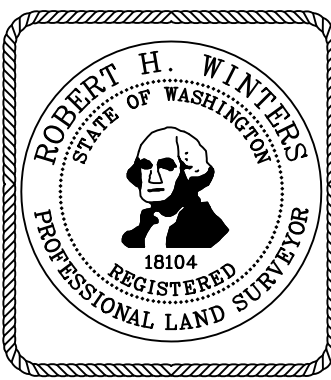
NOTES

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. CONTOUR INTERVAL = 1 FT.
3. ELEVATION DATUM = NAVD'88 AS PER DIRECT TIES USING GPS EQUIPMENT
4. PARCEL AREA = 7,337 SQ. FT.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS THAT AFFECT THIS PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
6. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASE UPON CITY OF SEATTLE G.I.S. AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
7. TAX PARCEL NO. 0394500065

PROPERTY DESCRIPTION

LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING COUNTY, WA.

FOR REFERENCE ONLY



TOPOGRAPHIC SURVEY
5040 SAND POINT PL. N.E.
SEATTLE, WASHINGTON

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

PROJECT #: 18-6048

DRAWING: 18-6048.DWG
BEW

CLIENT: MRN HOMES

SHORT SUBDIVISION NO. 3032151-LU

GRANTOR: MRN HOMES, LLC.
7556 12TH AVE. N.E.
SEATTLE, WA 98115

CONTACT PERSON:
IZABELLA PHILLIPS
206.297.0996
IZABELLAP@CHADWICKWINTERS.COM

GRANTEE: CITY OF SEATTLE
KING CO., WA.

ABBREVIATED LEGAL: LOT 3, BLOCK 2, ALBERT BALCHS
BALCHWOOD ADD'N, VOL. 60 OF
PLATS, PAGE 70

PROPERTY ADDRESS: 5040 SAND POINT PL. N.E.

ASSESSOR'S PARCEL #: 0394500065

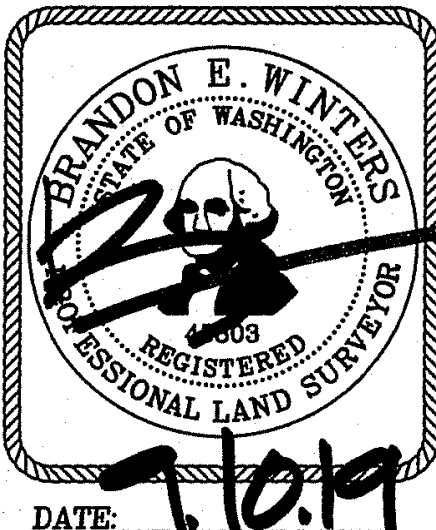
REFERENCE NO.'S FOR RELATED PROJECTS:

APPROVAL:
CITY OF SEATTLE
SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS
NATHAN TORGELSON, DIRECTOR

EXAMINED AND APPROVED THIS 25th DAY OF September 2019
BY: [Signature] for the DIRECTOR

NOTE:
APPROVAL OF THIS SHORT SUBDIVISION BY THE DIRECTOR OF THE SEATTLE
DEPARTMENT OF CONSTRUCTION AND INSPECTIONS UNDER CHAPTER 23.24 OF THE
SEATTLE MUNICIPAL CODE, AS AMENDED, IS NOT TO BE CONSTRUED AS SATISFACTION
OF ANY OTHER APPLICABLE LEGISLATION OR REGULATIONS.

KING COUNTY DEPT. OF ASSESSMENTS
EXAMINED AND APPROVED THIS 1st DAY OF OCTOBER 2019
ASSESSOR: John Wilson
DEPUTY ASSESSOR: [Signature]



W.U.C.I.O.A. DECLARATION

THE FOLLOWING STATEMENT IS PROVIDED IF AND TO THE EXTENT THIS UNIT LOT
SUBDIVISION IS CONSTRUED AS A COMMON INTEREST COMMUNITY UNDER THE WASHINGTON
UNIFORM COMMON INTEREST OWNERSHIP ACT ("WUCIOA"):

THE ONLY PORTIONS OF WUCIOA THAT APPLY TO THIS UNIT LOT SUBDIVISION ARE RCW
SECTIONS 64.90.020, 64.90.025, AND 64.90.030 BECAUSE:

- A. THIS UNIT LOT SUBDIVISION CONTAINS NO MORE THAN TWELVE UNIT LOTS;
- B. THIS UNIT LOT SUBDIVISION IS NOT SUBJECT TO ANY DEVELOPMENT RIGHTS AS THAT
TERM IS DEFINED IN WUCIOA;
- C. THE DECLARANT FOR THIS UNIT LOT SUBDIVISION (THE "DECLARANT") HAS NOT
ESTABLISHED OR STATED ANY ASSESSMENTS FOR THE UNIT LOTS. HOWEVER, THIS
UNIT LOT SUBDIVISION MAY CONTAIN OBLIGATIONS ON THE OWNERS OF THE UNIT
LOTS FOR CERTAIN MAINTENANCE AND OTHER OBLIGATIONS OUTSIDE THE OWNER'S
UNIT LOT. THE DECLARANT BELIEVES IN GOOD FAITH THAT THE COST OF THESE
MAINTENANCE AND OTHER OBLIGATIONS WILL NOT EXCEED THE AMOUNT SPECIFIED IN
RCW 64.90.075; AND
- D. THE LIMITATIONS STATED IN PARAGRAPH C ABOVE WILL NOT BE EXCEEDED PRIOR TO
NINETY (90) DAYS AFTER THE DATE THE DECLARANT HAS CONVEYED SEVENTY-FIVE
PERCENT (75%) OF THE UNIT LOTS UNLESS APPROVED BY 90% OF THE OWNERS OF
THE UNIT LOTS OTHER THAN THE DECLARANT.
- E. THIS UNIT LOT SUBDIVISION IS A DECLARATION UNDER WUCIOA.

DECLARATION:

WE THE UNDERSIGNED, OWNER(S) IN FEE SIMPLE [AND CONTRACT PURCHASER(S)]
OF THE LAND HEREIN DESCRIBED DO HEREBY MAKE A SHORT SUBDIVISION THEREOF
PURSUANT TO RCW 58.17.060 AND DECLARE THIS SHORT PLAT TO BE THE GRAPHIC
REPRESENTATION OF SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE
FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNER(S).
IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

NAME: MRN Homes LLC

BY: [Signature] ITS Managing Member

STATE OF WASHINGTON)

COUNTY OF KING) SS

ON THIS 21st DAY OF August 2019 BEFORE ME, THE UNDERSIGNED, A
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED
AND SWORN, PERSONALLY APPEARED Michael Nelson MEMBER OF
MRN Homes LLC TO ME KNOWN TO BE THE INDIVIDUAL
DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THEMSELVES,
AND ACKNOWLEDGED TO ME THAT THEY SIGNED AND SEALED THE SAME AS THEIR
VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL HERETO AFFIXED THE DAY AND YEAR IN
THIS CERTIFICATE ABOVE WRITTEN.



NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

RESIDING AT Seattle, WA

FOR REFERENCE ONLY

RECORDING CERTIFICATE
FILED FOR RECORD THIS 2nd DAY OF Oct 2019
AT 10:55 A.M. IN VOLUME 412 OF SURVEYS,
PAGE 89 AT THE REQUEST OF CHADWICK & WINTERS.
DEPARTMENT OF RECORDS & ELECTIONS
MANAGER [Signature] SUPT. OF RECORDS [Signature]

SURVEYOR'S CERTIFICATE
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE
BY ME OR UNDER MY DIRECTION IN CONFORMANCE
WITH THE REQUIREMENTS OF THE SURVEY RECORDING
ACT AT THE REQUEST OF MRN HOMES, LLC.
IN Sept. 2019.
B.E. WINTERS, L.S. 45803

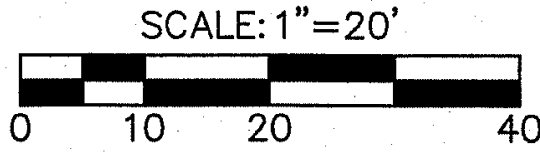
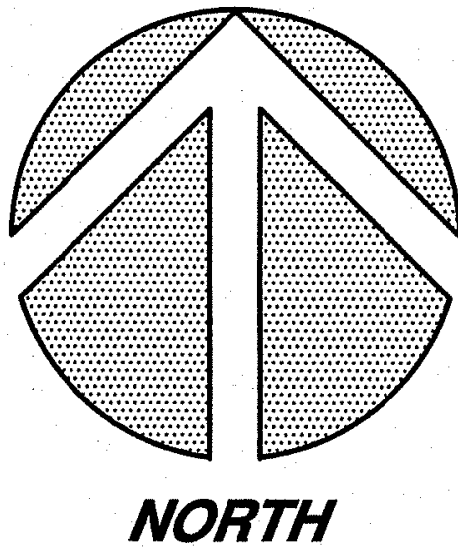
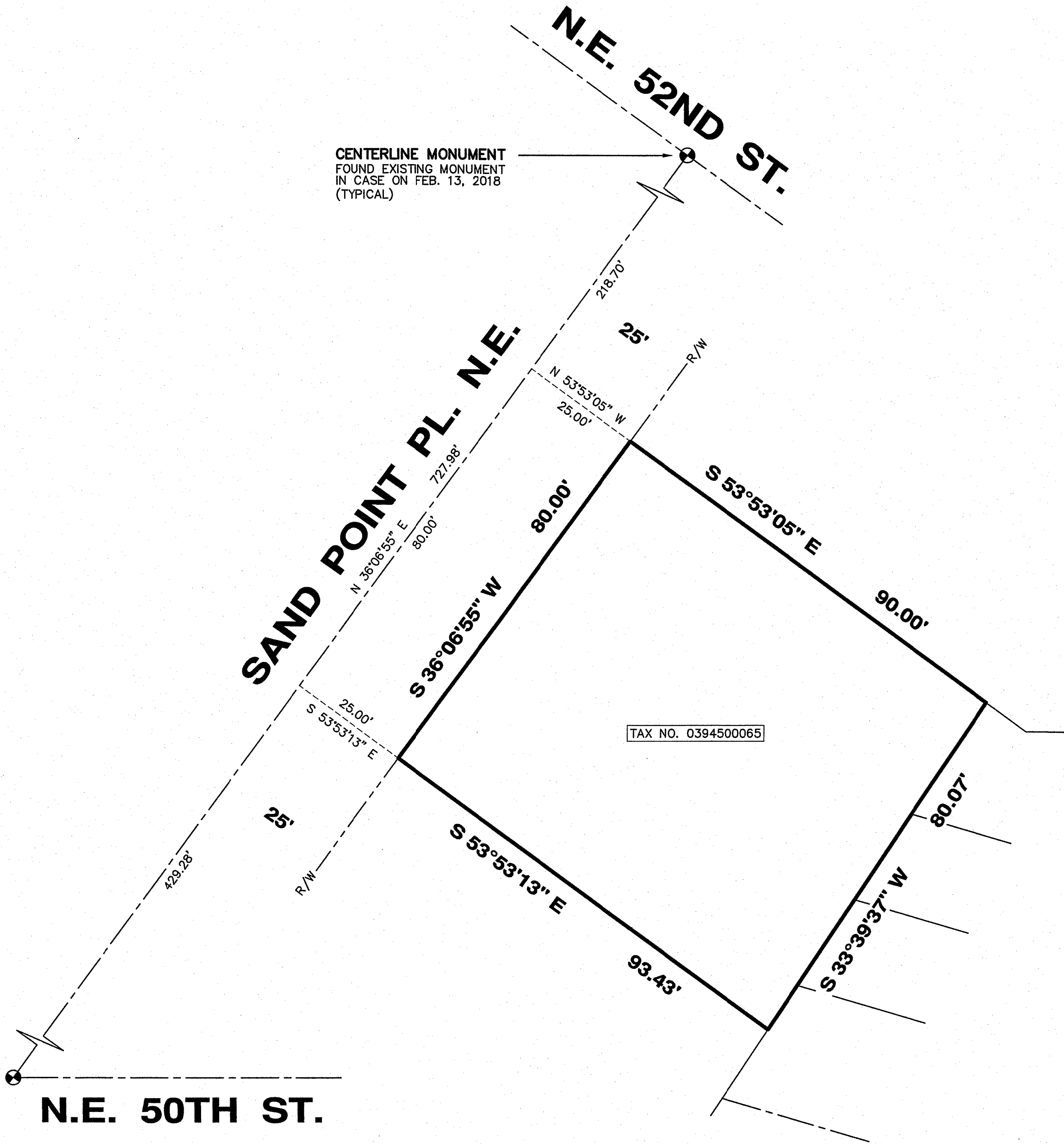
CHADWICK
WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

SURVEY IN:
NE 1/4, SW 1/4, SEC. 10, T. 25 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

REVISED: 10/11/18
18-6048.DWG

DRAWN BY: SAL	DATE: 05-21-18	PROJECT #: 18-6048
CHK. BY: RHW	SCALE: N/A	SHEET: 1 OF 7

SHORT SUBDIVISION NO. 3032151-LU



SURVEY NOTES:

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. BASIS OF BEARINGS = N 36°06'55" E BETWEEN THE TWO FOUND MONUMENTS IN THE CENTERLINE OF SAND POINT PL. N.E. AS SHOWN HEREON.
3. ALL EXISTING STRUCTURES AS SHOWN ON SHEET 3 ARE TO BE LEGALLY REMOVED UNDER SEPARATE PERMIT.
4. PARCEL AREA = 7,337 SQ. FT.
5. THE SUBDIVISION OF THE PROPERTY WILL NOT REDUCE THE REQUIREMENTS OF THE CITY OF SEATTLE STORMWATER CODE AND THE CITY OF SEATTLE SIDE SEWER CODE. FOR THE PURPOSES OF ENSURING COMPLIANCE WITH THE INTENT OF THE CITY OF SEATTLE STORMWATER CODE AND THE CITY OF SEATTLE SIDE SEWER CODE, THE PROPOSED PARCELS WITHIN THIS SUBDIVISION WILL MEET THE STANDARDS REQUIRED BY THE HIGHER AREA THRESHOLD OF THE ENTIRE PROPERTY BEING SUBDIVIDED OR THE ENTIRE DEVELOPMENT, WHICHEVER IS LARGER, RATHER THAN THE STANDARDS REQUIRED FOR EACH OF THE PROPOSED PARCELS INDIVIDUALLY.
6. DRAINAGE REVIEW CONDITION: FLOW CONTROL TO MEET THE PRE-DEVELOPED PASTURE STANDARD AND PEAK FLOW CONTROL STANDARD SHALL BE PROVIDED WITH THE BUILDING CONSTRUCTION PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT PLAN OF PARCELS.

PROPERTY DESCRIPTION

LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING COUNTY, WA.

FOR REFERENCE ONLY

BLOCK & BOUNDARY DETAIL

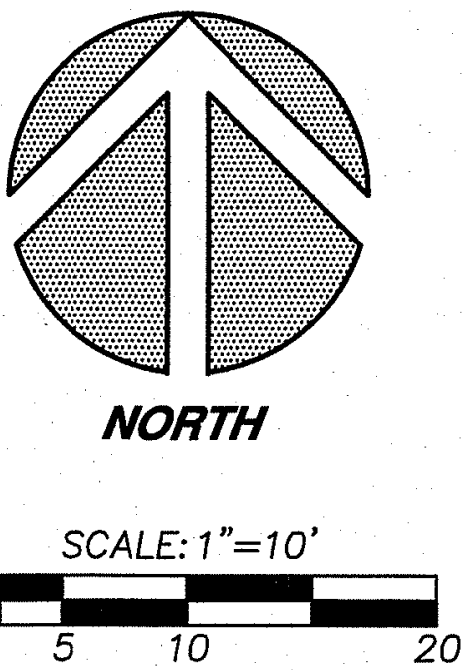
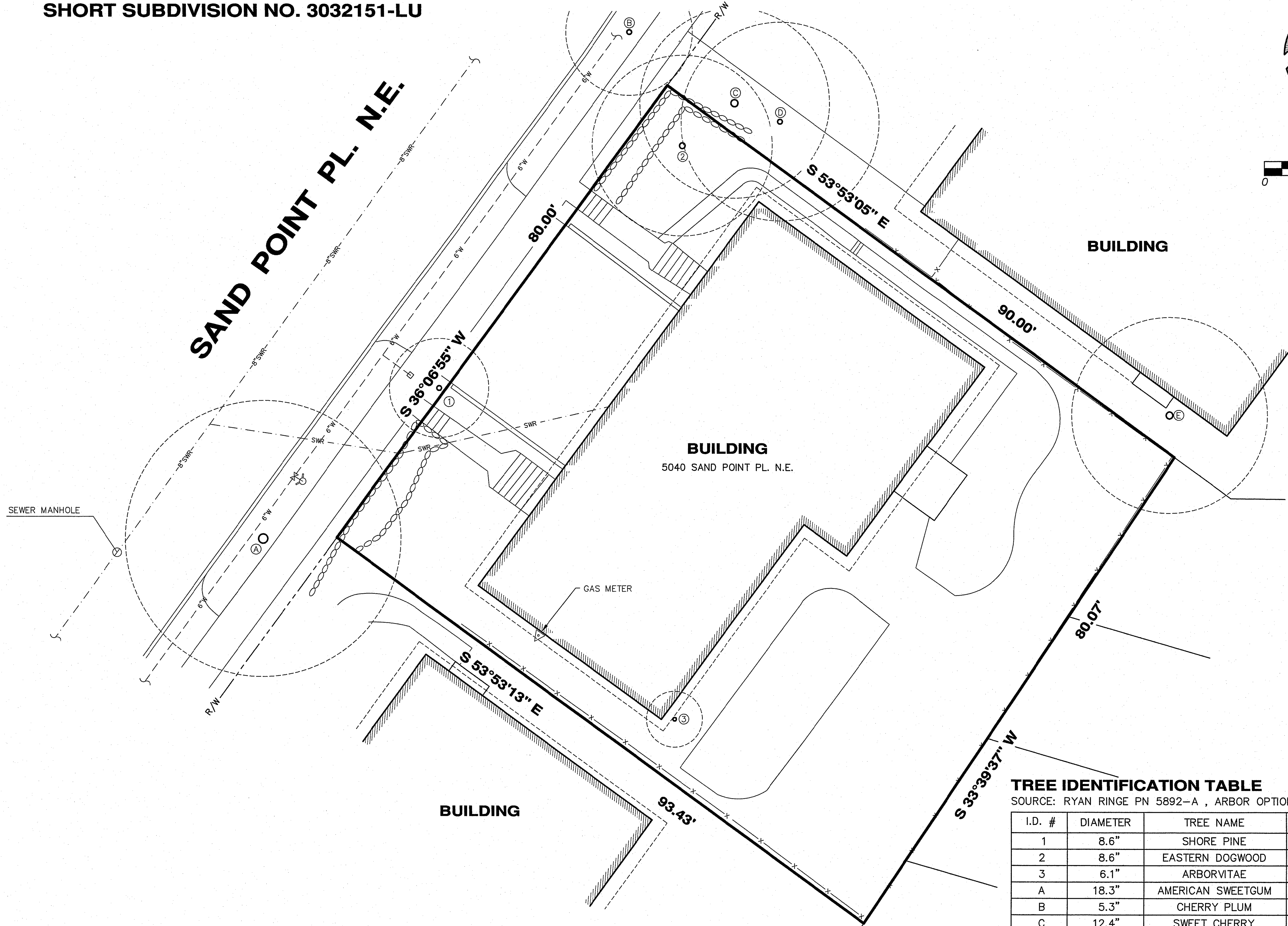


CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

SURVEY IN:
NE 1/4, SW 1/4, SEC. 10, T. 25 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

18-6048X.DWG		
DRAWN BY: SAL	DATE: 05-21-18	PROJECT #: 18-6048
CHK. BY: RHW	SCALE: 1" = 20'	SHEET: 2 OF 7

SHORT SUBDIVISION NO. 3032151-LU



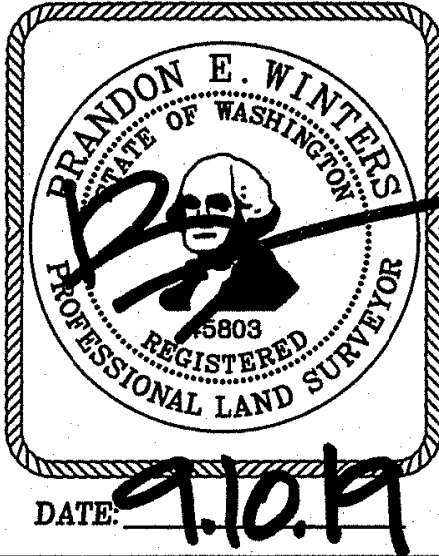
EXISTING SITE CONDITIONS DETAIL

FOR REFERENCE ONLY

TREE IDENTIFICATION TABLE
SOURCE: RYAN RINGE PN 5892-A , ARBOR OPTIONS, LLC.

I.D. #	DIAMETER	TREE NAME	BOTANICAL NAME
1	8.6"	SHORE PINE	PINUS CONTORTA
2	8.6"	EASTERN DOGWOOD	CORNUS FLORIDA
3	6.1"	ARBORVITAE	THUJA OCCIDENTALIS
A	18.3"	AMERICAN SWEETGUM	LIQUIDAMBAR STYRACIFLUA
B	5.3"	CHERRY PLUM	PRUNUS CERASIFERA
C	12.4"	SWEET CHERRY	PRUNUS AVIUM
D	6.4"	SWEET CHERRY	PRUNUS AVIUM
E*	12.5"	JAPANESE MAPLE	ACER PALMATUM
F	10.6"	PACIFIC CRABAPPLE	MALUS FUSCA

* = EXCEPTIONAL TREE



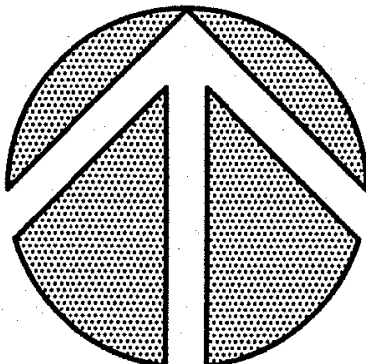
CHADWICK WINTERS
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PHONE: 206.297.0996
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WEB: WWW.CHADWICKWINTERS.COM

SURVEY IN:
NE 1/4, SW 1/4, SEC. 10, T. 25 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

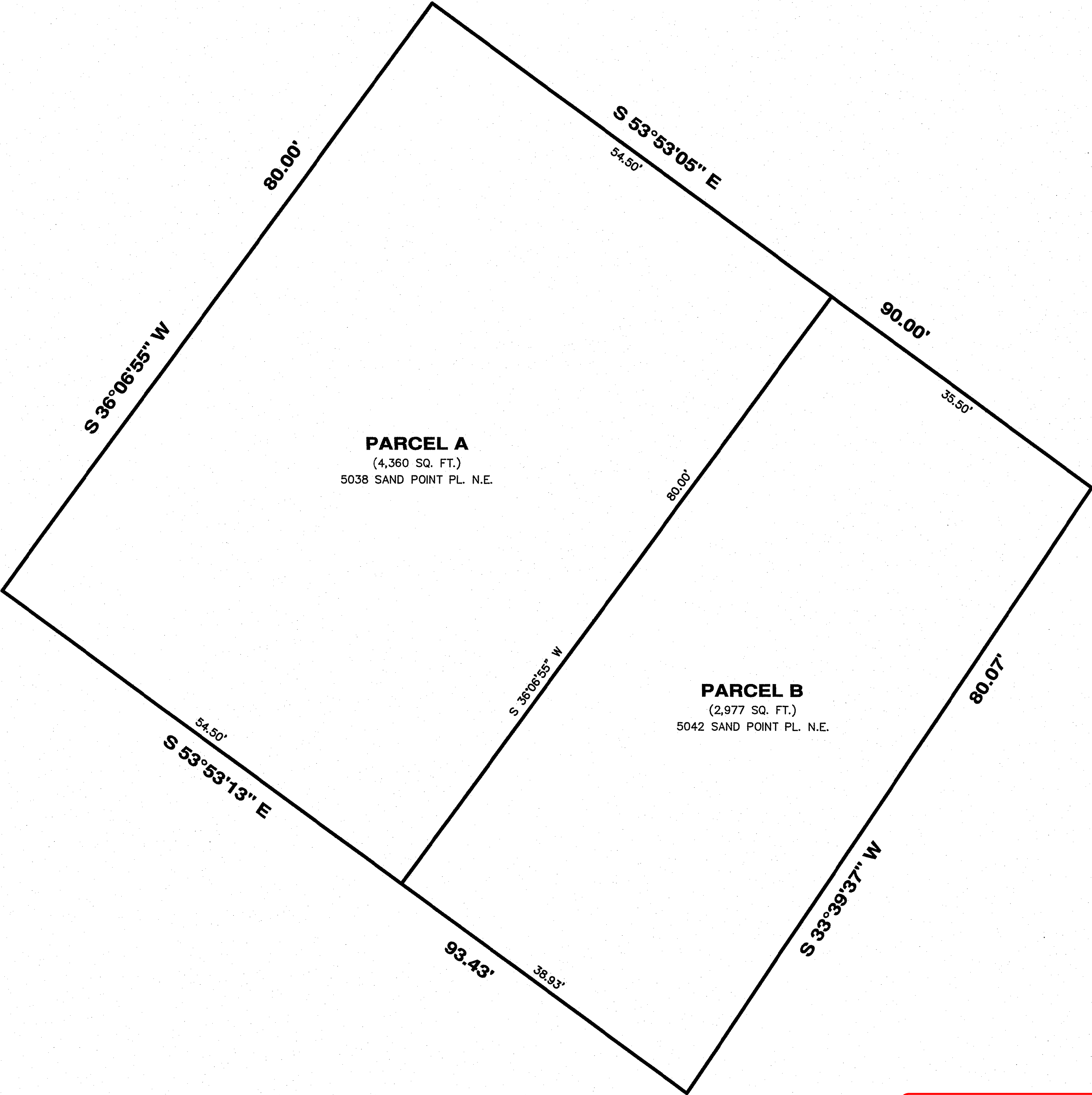
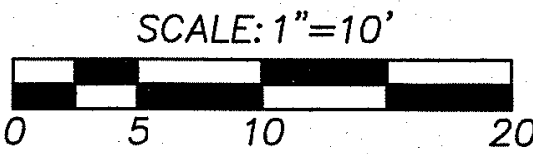
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CHK. BY: RHW	SCALE: 1" = 10'	SHEET: 3 OF 7

412 / 092

SHORT SUBDIVISION NO. 3032151-LU

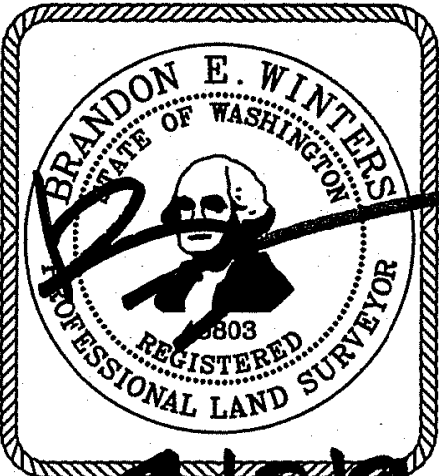


NORTH



FOR REFERENCE ONLY

SHORT SUBDIVISION DETAIL



DATE: 7.10.19

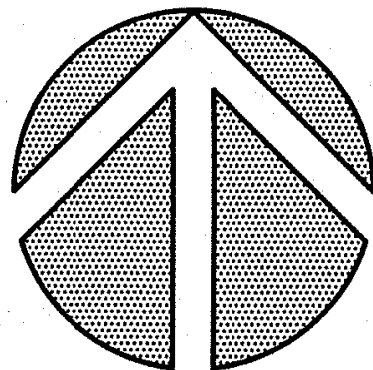
**CHADWICK
WINTERS**
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

SURVEY IN:
NE 1/4, SW 1/4, SEC. 10, T. 25 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

18-6048Y.DWG		
DRAWN BY: SAL	DATE: 05-21-18	PROJECT #: 18-6048
CHK. BY: RHW	SCALE: 1" = 10'	SHEET: 4 OF 7

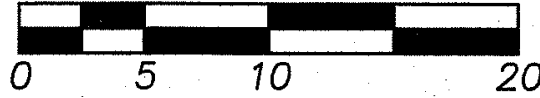
412 / 093

SHORT SUBDIVISION NO. 3032151-LU



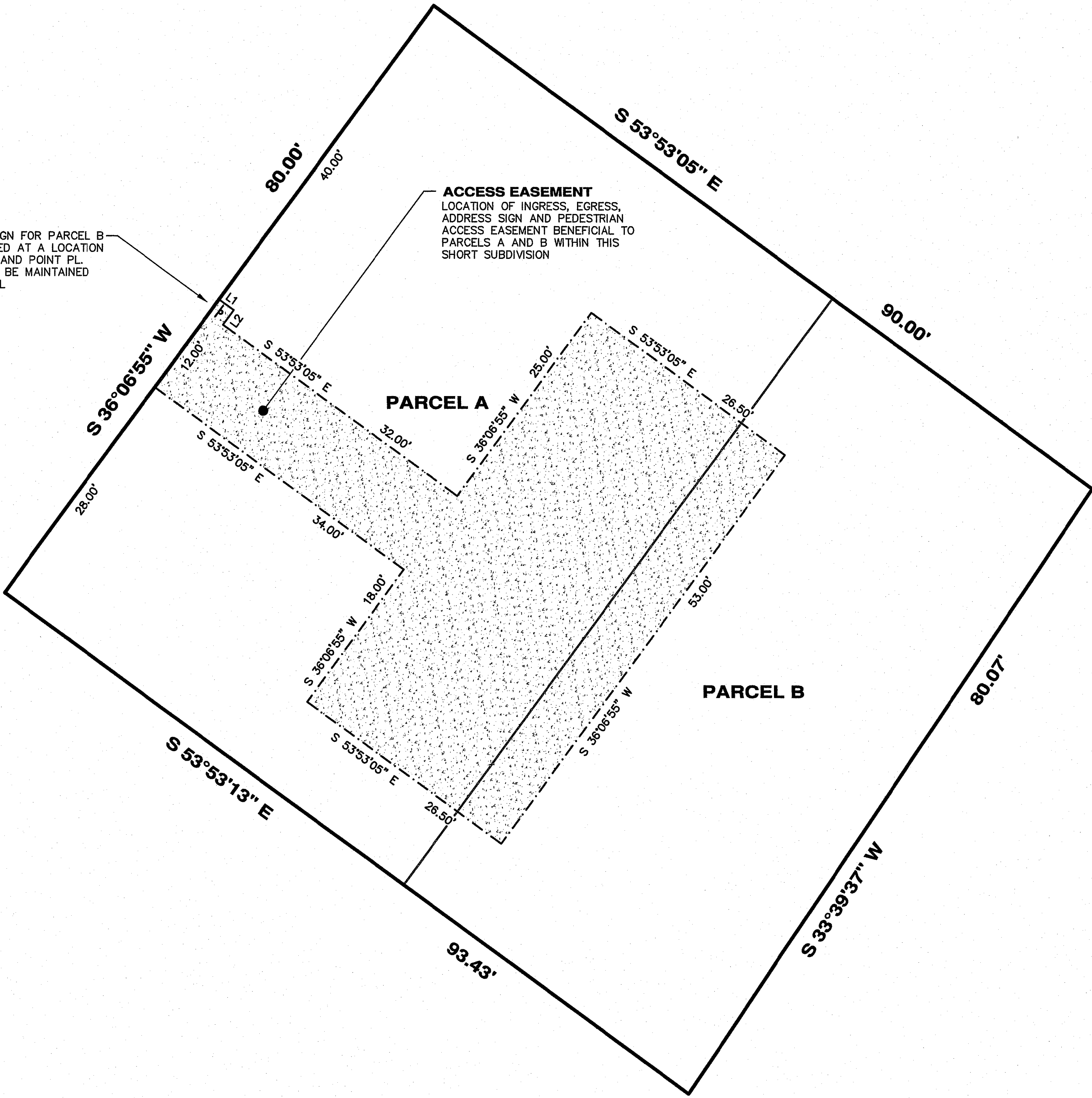
NORTH

SCALE: 1"=10'



AN ADDRESS SIGN FOR PARCEL B IS TO BE POSTED AT A LOCATION VISIBLE FROM SAND POINT PL. N.E. AND IS TO BE MAINTAINED BY SAID PARCEL

ACCESS EASEMENT
LOCATION OF INGRESS, EGRESS, ADDRESS SIGN AND PEDESTRIAN ACCESS EASEMENT BENEFICIAL TO PARCELS A AND B WITHIN THIS SHORT SUBDIVISION



FOR REFERENCE ONLY

LINE TABLE

LINE	BEARING	LENGTH
L1	S 53°53'05" E	2.00'
L2	S 36°06'55" W	2.00'

ACCESS EASEMENT DETAIL



CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

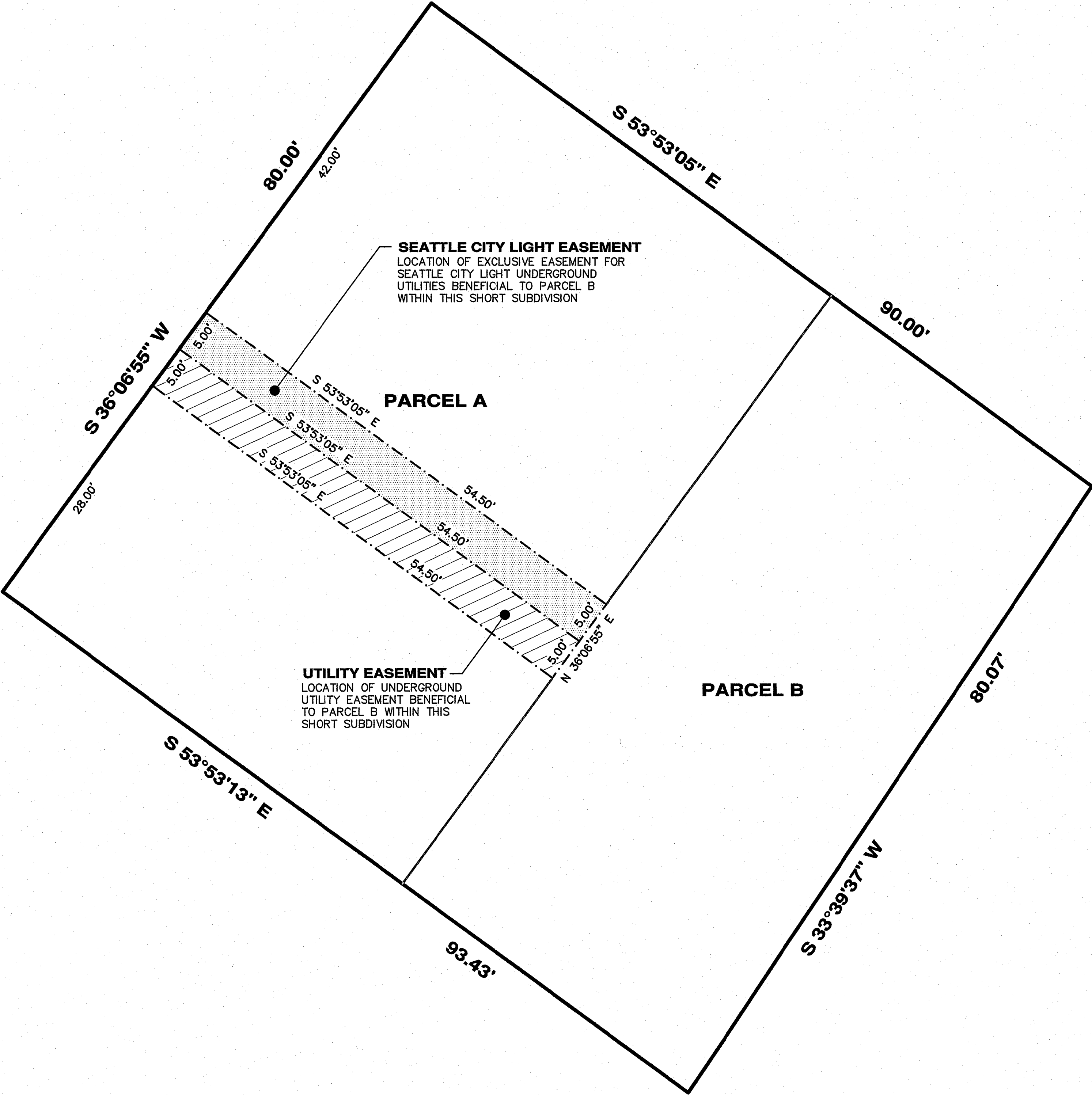
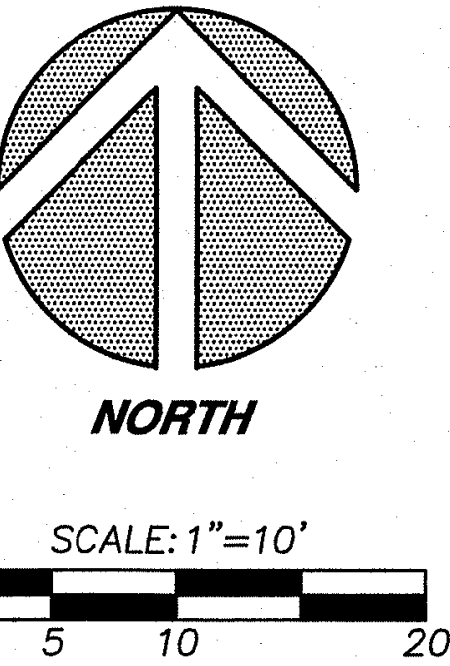
SURVEY IN:
NE 1/4, SW 1/4, SEC. 10, T. 25 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

18-6048Y.DWG

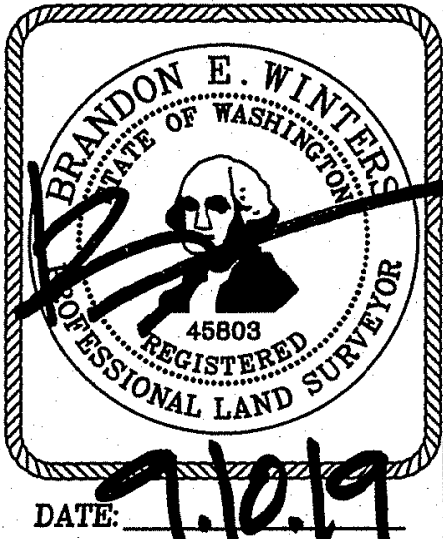
DRAWN BY: SAL	DATE: 05-21-18	PROJECT #: 18-6048
CHK. BY: RHW	SCALE: 1" = 10'	SHEET: 5 OF 7

412 / 094

SHORT SUBDIVISION NO. 3032151-LU



EASEMENT DETAIL



**CHADWICK
WINTERS**
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

SURVEY IN:
NE 1/4, SW 1/4, SEC. 10, T. 25 N., R. 4 E., W.M.
KING COUNTY, WASHINGTON

18-6048Y.DWG		
DRAWN BY: SAL	DATE: 05-21-18	PROJECT #: 18-6048
CHK. BY: RHW	SCALE: 1" = 10'	SHEET: 6 OF 7

412 / 095

SHORT SUBDIVISION NO. 3032151-LU

PROPOSED PARCEL DESCRIPTIONS:

PARCEL A (4,360 SQ. FT.)

THAT PORTION OF LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING
COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERLY MOST CORNER OF SAID LOT 3; THENCE S 53°53'09" E, ALONG THE
NORTHEASTERLY LINE OF SAID LOT FOR A DISTANCE OF 54.50 FT.; THENCE S 36°06'55" W, 80.00 FT.;
THENCE N 53°53'13" W, 54.50 FT.; THENCE N 36°06'55" E, 80.00 FT. TO THE **POINT OF BEGINNING**.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS, ADDRESS SIGN AND PEDESTRIAN
ACCESS AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" ON THIS CITY OF SEATTLE SHORT SUBDIVISION.

SUBJECT TO AN EASEMENT FOR UNDERGROUND UTILITIES AS SHOWN AND DESCRIBED AS "UTILITY
EASEMENT" ON THIS CITY OF SEATTLE SHORT SUBDIVISION.

SUBJECT TO AN EXCLUSIVE EASEMENT FOR SEATTLE CITY LIGHT UNDERGROUND UTILITIES AS SHOWN AND
DESCRIBED AS "SEATTLE CITY LIGHT EASEMENT" ON THIS CITY OF SEATTLE SHORT SUBDIVISION.

AND SUBJECT TO AND TOGETHER WITH ALL AGREEMENTS AS SHOWN AND DESCRIBED UPON THIS CITY OF
SEATTLE UNIT LOT SUBDIVISION.

PARCEL B (2,997 SQ. FT.)

THAT PORTION OF LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING
COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY MOST CORNER OF SAID LOT 3; THENCE N 53°53'13" W, ALONG THE
SOUTHWESTERLY LINE OF SAID LOT FOR A DISTANCE OF 38.93 FT.; THENCE N 36°06'55" E, 80.00 FT.;
THENCE S 53°53'05" E, 35.50 FT.; THENCE S 33°39'37" W, 80.07 FT. TO THE **POINT OF BEGINNING**.

SUBJECT TO AND TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS, ADDRESS SIGN AND PEDESTRIAN
ACCESS AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" ON THIS CITY OF SEATTLE SHORT SUBDIVISION.

TOGETHER WITH AN EASEMENT FOR UNDERGROUND UTILITIES AS SHOWN AND DESCRIBED AS "UTILITY
EASEMENT" ON THIS CITY OF SEATTLE SHORT SUBDIVISION.

TOGETHER WITH AN EXCLUSIVE EASEMENT FOR SEATTLE CITY LIGHT UNDERGROUND UTILITIES AS SHOWN
AND DESCRIBED AS "SEATTLE CITY LIGHT EASEMENT" ON THIS CITY OF SEATTLE SHORT SUBDIVISION.

AND SUBJECT TO AND TOGETHER WITH ALL AGREEMENTS AS SHOWN AND DESCRIBED UPON THIS CITY OF
SEATTLE UNIT LOT SUBDIVISION.

ACCESS EASEMENT

AN EASEMENT FOR INGRESS, EGRESS, ADDRESS SIGN AND PEDESTRIAN ACCESS BENEFICIAL TO PARCELS A
AND B OF THIS SHORT SUBDIVISION

THAT PORTION OF LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING
COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHERLY MOST CORNER OF SAID LOT 3; THENCE S 36°06'55" W, ALONG THE
NORTHWESTERLY LINE OF SAID LOT FOR A DISTANCE OF 40.00 FT. TO THE **POINT OF BEGINNING**; THENCE
S 53°53'05" E, 2.00 FT.; THENCE S 36°06'55" W, 2.00 FT.; THENCE S 53°53'05" E, 32.00 FT.; THENCE
N 36°06'55" E, 25.00 FT.; THENCE S 53°53'05" E, 26.50 FT.; THENCE S 36°06'55" W, 53.00 FT.;
THENCE N 53°53'13" W, 26.50 FT.; THENCE N 36°06'55" E, 18.00 FT.; THENCE N 53°53'05" W, 34.00
FT.; THENCE N 36°06'55" E, 12.00 FT. TO THE **POINT OF BEGINNING**.

UTILITY EASEMENT

AN EASEMENT FOR UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO UNDERGROUND WATERLINE,
POWER, GAS, TELEPHONE, TELECABLE, SANITARY SEWER AND STORM SEWER BENEFICIAL TO PARCEL B
WITHIN THIS SHORT SUBDIVISION

THAT PORTION OF LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING
COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHERLY MOST CORNER OF SAID LOT 3; THENCE S 36°06'55" W, ALONG THE
NORTHWESTERLY LINE OF SAID LOT FOR A DISTANCE OF 47.00 FT. TO THE **POINT OF BEGINNING**; THENCE
S 53°53'05" E, 54.50 FT.; THENCE S 36°06'55" W, 5.00 FT.; THENCE N 53°53'05" W, 54.50 FT.;
THENCE N 36°06'55" E, 5.00 FT. TO THE **POINT OF BEGINNING**.

FOR REFERENCE ONLY

ADDRESS SIGN MAINTENANCE AGREEMENT

ANY PARCEL BENEFITING FROM THE POSTING OF THE ADDRESS SIGN AS SHOWN HEREON IS RESPONSIBLE FOR
THE MAINTENANCE, SHARING EQUALLY IN THE COST OF REPAIR AND\OR MAINTENANCE TO SAID ADDRESS SIGN.

EASEMENT MAINTENANCE AGREEMENT

SAID EASEMENTS OF THIS SHORT PLAT TO BE EQUALLY MAINTAINED, REPAIRED, AND/OR REBUILT BY THE
OWNERS OF THE PARCELS HAVING LEGAL ACCESS AND UTILITY SERVICE THEREFROM AND THEIR HEIRS,
ASSIGNS AND SUCCESSORS.

INDIVIDUAL UTILITY SERVICE LINES, INCLUDING STORM AND SANITARY SIDE SEWER LINES, ARE THE SOLE
RESPONSIBILITY OF THE OWNERS OF THE UNIT OR PARCEL THE INDIVIDUAL SERVICE LINE SERVES.
UTILITY SERVICE LINES WHICH SERVICE MORE THAN ONE UNIT OR PARCEL SHALL BE EQUALLY
MAINTAINED, REPAIRED, AND/OR REBUILT BY THE OWNERS OF THE UNITS OR PARCELS SERVICED.

THIS MAINTENANCE AGREEMENT COVERS NORMAL USAGE, WEAR AND TEAR, AND LIFE EXPECTANCY OF
MATERIALS. ANY DAMAGE INCURRED BY AN INDIVIDUAL OWNER SHALL BE REPAIRED AND/OR RESTORED
TO PRE DAMAGED CONDITION WITHIN 30 DAYS. THE OWNER WHICH INCURRED THE DAMAGE SHALL BE
SOLELY RESPONSIBLE FOR THE COST OF REPAIR OR REPLACEMENT OF THE MATERIALS. IN NO EVENT
SHALL ACCESS OR UTILITY SERVICE BE DENIED OTHER PROPERTY OWNERS OF SAID EASEMENTS FOR
MORE THAN 24 HOURS

SEATTLE CITY LIGHT EASEMENT

CITY OF SEATTLE LAND USE ACTION NO. 3032151-LU
EXCLUSIVE EASEMENT (UNDERGROUND)
KING COUNTY ASSESSOR'S TAX PARCEL NO. 0394500065

THE OWNER OF THE REAL PROPERTY THAT IS THE SUBJECT OF THIS LAND USE ACTION ("GRANTOR")
HEREBY GRANTS TO THE CITY OF SEATTLE ("GRANTEE") AND THE RIGHT, PRIVILEGE AND AUTHORITY (AN
"EASEMENT") TO INSTALL, CONSTRUCT, ERECT, RECONSTRUCT, ALTER, IMPROVE, REMOVE, REPAIR, REPLACE,
ENERGIZE, OPERATE, AND MAINTAIN UNDERGROUND ELECTRIC DISTRIBUTION FACILITIES, WHICH MAY CONSIST OF,
BUT ARE NOT LIMITED TO: TRANSFORMERS, DUCTS, VAULTS, MANHOLES, SWITCHES, CABINETS, CONTAINERS,
CONDUITS, WIRES AND OTHER CONVENIENT APPURTENANCES NECESSARY TO MAKE SAID UNDERGROUND
DISTRIBUTION FACILITIES AN INTEGRATED ELECTRIC SYSTEM ("ELECTRIC SYSTEM"). ALL SUCH ELECTRIC SYSTEM
SHALL BE LOCATED ACROSS, OVER, UPON AND UNDER THE REAL PROPERTY DESCRIBED WITHIN THIS LAND USE
ACTION ("PROPERTY") SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON, AND MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 3, BLOCK 2, ALBERT BALCHS BALCHWOOD ADDITION TO THE CITY OF SEATTLE
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 60 OF PLATS, PAGE 70, RECORDS OF KING
COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHERLY MOST CORNER OF SAID LOT 3; THENCE S 36°06'55" W, ALONG
THE NORTHWESTERLY LINE OF SAID LOT FOR A DISTANCE OF 42.00 FT. TO THE **POINT OF BEGINNING**;
THENCE S 53°53'05" E, 54.50 FT.; THENCE S 36°06'55" W, 5.00 FT.; THENCE N 53°53'05" W,
54.50 FT.; THENCE N 36°06'55" E, 5.00 FT. TO THE **POINT OF BEGINNING**.

(ALSO BEING KNOWN AS THE SEATTLE CITY LIGHT EASEMENT LYING WITHIN PARCEL A OF THIS CITY
OF SEATTLE SHORT SUBDIVISION WHICH SHALL BE OCCUPIED AND CONTROLLED EXCLUSIVELY BY
SEATTLE CITY LIGHT, A DEPARTMENT OF THE CITY OF SEATTLE.)

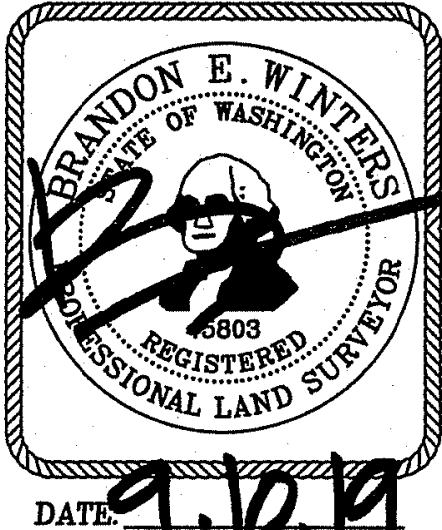
TOGETHER WITH GRANTEE'S AND ITS ASSIGNS' UNRESTRICTED RIGHT OF ACCESS TO AND FROM THE
PROPERTY FOR THE PURPOSES OF EXERCISING ITS RIGHTS GRANTED HEREIN.

TOGETHER WITH GRANTEE'S AND ITS ASSIGNS' RIGHT TO CUT AND TRIM BRUSH, TREES OR OTHER PLANTS
STANDING OR GROWING UPON THE PROPERTY WHICH, IN THE OPINION OF THE GRANTEE, INTERFERE WITH THE
MAINTENANCE OR OPERATION OF, OR CONSTITUTE A MENACE OR DANGER TO, THE ELECTRIC SYSTEM.

GRANTOR, ITS SUCCESSORS AND ASSIGNS, COVENANTS AND AGREES THAT NO STRUCTURE OR FIRE
HAZARDS WILL BE BUILT OR PERMITTED WITHIN THE EASEMENT AREA(S) DESCRIBED ABOVE; THAT NO DIGGING
WILL BE DONE OR PERMITTED WITHIN THE PROPERTY WHICH WILL IN ANY MANNER DISTURB GRANTEE'S ELECTRIC
SYSTEM OR ITS SOLIDITY OR UNEARTH ANY PORTION THEREOF; AND THAT NO BLASTING OR DISCHARGE OF ANY
EXPLOSIVES WILL BE PERMITTED WITHIN FIFTY (50) FEET OF THE ELECTRIC SYSTEM.

THE CITY OF SEATTLE SHALL BE RESPONSIBLE, AS PROVIDED BY LAW, FOR ANY DAMAGE TO THE GRANTOR
THROUGH ITS NEGLIGENCE IN THE CONSTRUCTION, MAINTENANCE AND OPERATION OF THE ELECTRIC SYSTEM.

THE RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY GRANTED SHALL CONTINUE AND BE IN FORCE
UNTIL THE GRANTEE PERMANENTLY REMOVES ITS ELECTRIC SYSTEM FROM THE PROPERTY OR PERMANENTLY
ABANDONS THE ELECTRIC SYSTEM, AT WHICH TIME ALL SUCH RIGHTS, TITLE, PRIVILEGES AND AUTHORITY HEREBY
GRANTED SHALL TERMINATE.



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KING COUNTY, WASHINGTON

18-6048X.DWG		
DRAWN BY: SAL	DATE: 05-21-18	PROJECT #: 18-6048
CHK. BY: RHW	SCALE: 1" = 20'	SHEET: 7 OF 7